

CHAPTER 5

LANDSCAPE GUIDELINES

5.1 Landscape Character

Every community is an extension of the natural landscape on which it is located. A sense of place is unique, formed at a personal level and drawn from the following:

- Natural features such as climate, vegetation, and the seasons
- Interplay of land uses, the built environment, and user experience
- Historic precedents of land use and culture

Unified and striking landscapes will provide a context and identity for Roberts' Ranch. A successful landscape must be appropriate to the site conditions, uses and expectations of residents and meet clear goals for sustainability. Exploring the landscape character provides vision and guidance for developing high quality public spaces, cohesive design, and personal interaction in all areas of Roberts' Ranch; allowing designers to find creative solutions, and assuring decision makers that the important measures of resource conservation, cost containment, and community standards will be met.

Roberts' Ranch is Mediterranean in climate with cool, ocean-influenced winters and warm, dry summers. With a backdrop of orderly, productive agricultural lands and adjacent to the Vacaville Urban Growth Boundary, strong patterns to draw from in design include gracious parklands, neighborhood greens, recreation opportunities, monuments and landmarks, interconnecting trails, encounters with nature, and comfortable residential and streetscapes. Landscapes at Roberts' Ranch shall be interrelated, without strong boundaries or transitions, reflecting the standards provided in this Specific Plan.



5.2 Community Landscape Guidelines

The following guidelines establish standards for the functional and visual character of public landscapes to be established at Roberts' Ranch.

The landscape at Roberts' Ranch shall reinforce the hierarchy of entries, major streets, focal points, community greenspace, trails, and neighborhood enclaves. Repeated use of massed plant materials and complementary plant communities shall establish a unique visual setting at Roberts' Ranch. The street hierarchy shall take precedent when designing streets that separate land uses.

While ownerships and maintenance areas shall have clear delineations between them such as concrete mow curbs, plant materials shall soften edges and views between land uses, and create comfortable and memorable outdoor spaces for the residents of Roberts' Ranch.



Water efficient landscape will define this project. Large expanses of turf in areas less than 12 feet in width are discouraged. No planting areas less than 2 feet in width shall be allowed. Plant materials shall be climate adapted, such as herbaceous shrubs, succulents, and ornament grasses, seasonally interesting, and complementary to the built environment. Plant materials shall be grouped according to hydrozones, characterized by similar water needs, solar exposure, and maintenance needs of a plant group.

Thematic plant lists shall be developed for entries, neighborhood stroller parks, public art locations, and interpretive sites. See Section 5.7 for Community Landscape plant list.

5.2.1 Streetscapes: Leisure Town Road/Jepson Parkway

Leisure Town Road shall follow the recommendations for urban residential landscape found in the Jepson Parkway Concept Plan, providing ample landscape, noise, and visual buffers to adjacent portions of Roberts' Ranch. Planting shall be a formal canopy of street trees designed to shade from the afternoon sun with masses of ornamental grasses as an understory. Accent trees and massed groups of low maintenance, water efficient shrubs and perennials shall highlight intersections, trail connections, and rest areas. Signage and landmarks shall be consistent with the Jepson Parkway Road

Widening Project to help unify the Parkway. Special provisions such as irrigation zoning and tree placement shall consider the ultimate build-out and location of right-of-way at Leisure Town Road.

5.2.2 Streetscapes: Fry Road/Alamo Drive Extension

Landscape at Fry Road and Alamo Drive Extension shall reflect its original, rural use with blocks of columnar deciduous trees, alternating with single rows of large spreading canopy trees to evoke historic hedgerow plantings. Low maintenance, water efficient groundcovers and grasses shall form the understory, with banks of evergreen, flowering shrubs serving as a backdrop to the boundaries of Roberts' Ranch.

5.2.3 Streetscapes: Major Collector/Two Lane Arterial

1. Major collectors and two lane arterials shall be framed and shaded by double rows of large deciduous canopy trees, with species planted in alternating blocks rather than mixed groves. Approaches to intersections on these streets will be indicated by blocks of columnar deciduous trees. Block plantings of deciduous canopy trees and massed plantings of flowering shrubs in medians, and where separated paths are more than 8 feet from curb, will provide visual interest to drivers and limit tree canopy growth over roadways.
2. Major collectors and two lane arterials shall be landscaped with evergreen, water efficient, low maintenance shrubs and groundcovers. Flowering shrubs and perennials shall be limited to intersections and median ends to visually accent those locations. Where the parkway is 20 feet wide or more, a landscaped swale to promote rainfall and runoff infiltration is encouraged. Turf shall be used only for maximum effect in areas no less than 10 feet in width, to create a usable open space near residential entries where possible. Turf at curbside locations shall not be allowed.



5.2.4 Streetscapes: Minor Collectors



1. Minor collectors shall be framed and shaded by mixed groves of large evergreen canopy trees, with species planted in a meandering way to respond to street and trail layout, and the built environment. Small evergreen trees shall reinforce the planting of similar trees at adjacent residential development. Approaches to intersections on minor collectors will be indicated by groupings of flowering deciduous trees.
2. Minor collectors shall be landscaped with evergreen, water efficient, low maintenance shrubs and groundcovers. Flowering shrubs and perennials shall be limited to intersection approaches to accent those locations. Where the parkway is 20 feet wide or more, a landscaped swale with spreading, grass-like species that promote storm water infiltration is encouraged. Turf shall be used only for maximum effect, in areas no less than 10 feet in width, and near residential entries where possible. Turf at curbside locations shall not be allowed.

5.2.5 Streetscapes: Residential Roads



1. Residential roads with attached sidewalks shall have landscape that blends with the adjacent neighborhood themes, materials, and styles. Residential roads with detached sidewalks shall have 5 foot meandering paths, street trees, and landscapes that are composed of water efficient evergreen sub-shrubs (less than 3 feet height), ornamental grasses, and flowering perennials.
2. No tree planting shall occur in planters 2 feet or less in width, or within 3 feet of driveway transitions. No planting shall occur within 18" of walks, curbs or residential entry walks.



5.2.6 Open Space/Agricultural Buffer

1. Open space and agricultural buffer areas shall be designed in accordance with the Parks Master Plan attached as Appendix E.

5.2.7 Stroller Parks

1. Stroller Parks shall be designed in accordance with the Parks Master Plan attached as Appendix E.

5.2.8 Open Space Trails

1. Open space trails shall be designed in accordance with the Parks Master Plan attached as Appendix E.

5.2.9 Signage/Way Finding

1. A comprehensive signage program shall be established for Roberts' Ranch, including directional information at vehicular, bicycle, and pedestrian levels, with entry and special feature signs to locate important elements.
2. Signage will be scaled appropriately for entries, streets, open spaces, or neighborhood locations.
3. Signage shall be durable, subdued in color, reflecting the architectural palette of Roberts' Ranch, and include the community logo in various forms.

5.2.10 Street and Open Space Furniture

1. Site furniture is a key element in creating visually cohesive pedestrian scale neighborhoods. Site furniture should be located and chosen to reinforce the uses of community space at Roberts' Ranch.
2. A palette of street furnishings should be developed for each category of public space, and include the guidance of the City of Vacaville Community Services Commission regarding maintenance access, template furnishing layout, attachment, and replacement recommendations.
3. Natural materials and finishes, landforms and large scale elements to imply permanence and presence are encouraged. Overly complex or distracting forms, colors, and materials should be avoided.
4. Street furnishings such as benches, shelters, trash receptacles, and bollards should be consistent at all common areas, modern in design, and subdued in color.



5.2.11 Lighting



1. Street lighting at Roberts' Ranch shall be compatible with the road design and landscape of each road segment and meet the standards of the City of Vacaville. Lighting shall contribute to the safety and visual continuity of the street scene. Recognizing the differing lighting needs of major streets, residential streets, and open space uses, light fixtures shall be similar in style and material throughout Roberts' Ranch.
2. Lighting at Leisure Town Road/Fry Road/Alamo Drive Extension shall be compatible with the Jepson Parkway Concept Plan to provide lighting for the vehicular design speed with a decorative tear-drop luminaire on a single mast arm.
3. Lighting at collector streets and two lane arterials shall reinforce community character with a decorative "acorn" post top luminaire.
4. Lighting at residential streets shall enhance architecture styles with a decorative "acorn" post top luminaire, and shielded to keep glare from adjacent homes.



5.3 Neighborhood Landscape Guidelines

5.3.1 Development Standards

1. Development standards for neighborhood landscapes shall apply to front and sideyard areas, detail how community themes are portrayed, architecture styles and building layout are reinforced, and utility setbacks and safety concerns are addressed. Development standards shall require all landscape and irrigation to conform to City of Vacaville Water Efficient Landscape Regulations. All unpaved areas at neighborhood landscapes shall be landscaped and irrigated. Fallow areas or inert groundcover shall not be allowed. Development standards shall include recommendations for maintenance practices for the proposed landscape.

5.3.2 Neighborhood Landscapes at Residential Low Density

1. Landscapes at residential low density neighborhoods shall include a variety of plant materials including water efficient shrubs, trees, and groundcovers. Front and side yards shall be landscaped using similar materials and groupings to create a consistent streetscape. Evergreen screening shrubs shall be used as a buffer between residences and driveways in areas greater than 8 feet.
2. One hundred percent of permeable area in front and street side yards shall be landscaped, and 30% of landscaped area may be turf. See example at right as to how this is calculated.
3. Deciduous shade producing trees shall be planted an average of 40 feet on center when no obstructions (e.g. walks, utility vaults) are present in an effort to provide a significant shade canopy. Flowering or columnar accent trees shall be planted to reinforce architectural and fencing elements in planters not less than 4 feet in width. Evergreen shade trees are discouraged to allow for winter sun exposure.
4. All neighborhood landscapes shall use sub-surface irrigation, low-flow nozzles, and emitters and be equipped with weather sensitive irrigation controllers.



example of landscape calculation

Landscape Areas: Typical in-line 70 x 115 Lot	Area (includes P.U.E.)	%
Driveway, entry walk paving	846 sq. ft.	47
Water Efficient landscape	660 sq. ft.	37
Turf	282 sq. ft.	16
Frontyard landscape total	1787 sq. ft	100

5.3.3 Neighborhood Landscapes at Residential Low/Medium Density

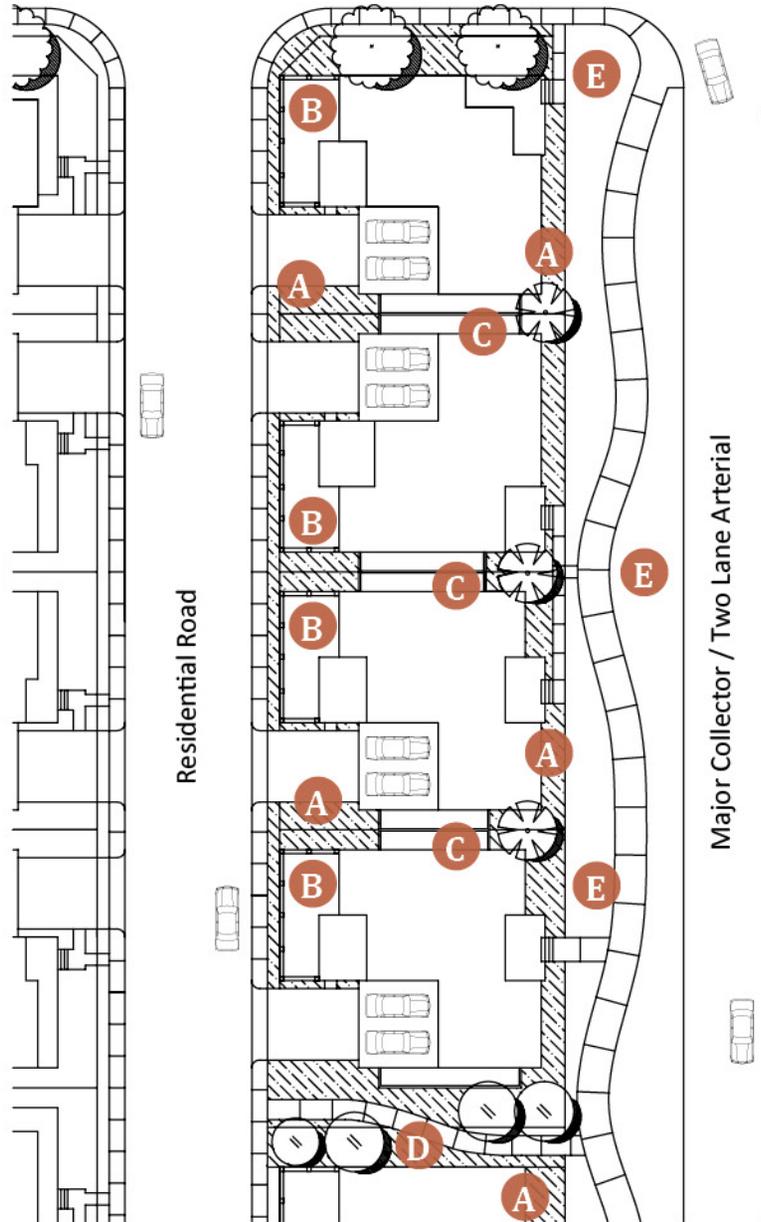
1. Landscapes at residential low/medium density neighborhoods shall include a variety of plant materials including water efficient shrubs, trees, and groundcovers. Front and side yards shall be landscaped using similar materials and groupings to create a consistent streetscape. Evergreen screening shrubs shall not be used between residences.
2. One hundred percent of permeable area in front and side yards shall be landscaped, and 50% of the landscaped area may be turf. See calculation example on previous page.
3. Deciduous shade producing trees shall be planted at least every 30 linear feet when no obstructions are present, or one per lot. Evergreen shade trees are discouraged to allow for winter sun exposure.
4. All landscape areas shall maximize the use of sub-surface irrigation, high efficiency nozzles and emitters, and be equipped with weather based irrigation controller.



5.3.4 Neighborhood Landscapes at Frontage Overlay Zone

1. A maintenance association or other entity will be joined or created for landscape maintenance surrounding homes within the frontage overlay zone, as noted in Section 2.3.1, to ensure consistent landscape treatment for this condition. Prior to issuance of a certificate of occupancy for a residence, a method for the permanent maintenance of the front yard shall be established (e.g. a maintenance association). See Figure 5-1 for details.
2. Landscapes at residential frontage overlay districts shall include repeating masses of evergreen sub-shrubs, non-woody perennials, and grasses. Where architecture creates pockets larger than 6 feet, small evergreen accent trees shall be planted to reduce the mass of the building façade.
3. Landscapes at frontage entries shall consist of medium water use, flowering perennials and shrubs focused on residential entries, and contrast with landscape materials used at adjacent streetscape.
4. At walls or patios, use of non-woody plant materials is encouraged to reduce maintenance and conflicts with structures.

Figure 5-1 Maintenance Association Exhibit



- A** area maintained by maintenance association; install common irrigation system and irrigation controls; see Section 5.3.4 for details
- B** courtyard wall and private space; see Figure 5-4f
- C** wood good neighbor fence; see Figure 5-4c
- D** easement to allow through-block walk approximately every five lots
- E** major collector/two lane arterial landscape at frontage overlay zone; see Section 5.2.3 for details

key map



5. Where the access walk to residences creates space 2 feet or less, landscape materials shall be non-woody and size appropriate (mature size shall not overgrow walks and walls).
6. Permanent, concrete mow strips shall separate public landscapes from neighborhood landscapes where a fence, wall, or walk does not form a separation.
7. Landscapes at residential streets shall consist of low water use, dense, evergreen perennials and shrubs reinforcing the architecture of private spaces and vehicular paving. No turf shall be allowed.

5.3.5 Trellises, Screening, Paving at Neighborhood Landscapes

1. Trellises, screens, and paving accents that create additional interests, screening, and reinforce architectural themes at residential neighborhoods, are encouraged.
2. Matched precipitation, mini-rotor type spray heads are required at all turf, large groundcover areas and areas of predominantly native grass cover.



5.4 Monumentation

The following guidelines apply to public areas within Roberts' Ranch. Incorporating expressive monuments with a consistent theme and quality in the public realm provide a sense of arrival, provide destinations for residences and visitors, and extend the definitions of neighborhood while serving as markers for navigating everyday life. The photos shown in this document illustrate recommended concepts and materials but do not imply finished structures. Monumentation and signage throughout the project should have a consistent design theme, durable materials, and rich color palette to create a unified aesthetic for the community. Monuments shall be included in a Lighting and Landscape District as defined in Chapter 9. City of Vacaville site distance requirements shall be maintained at intersections.

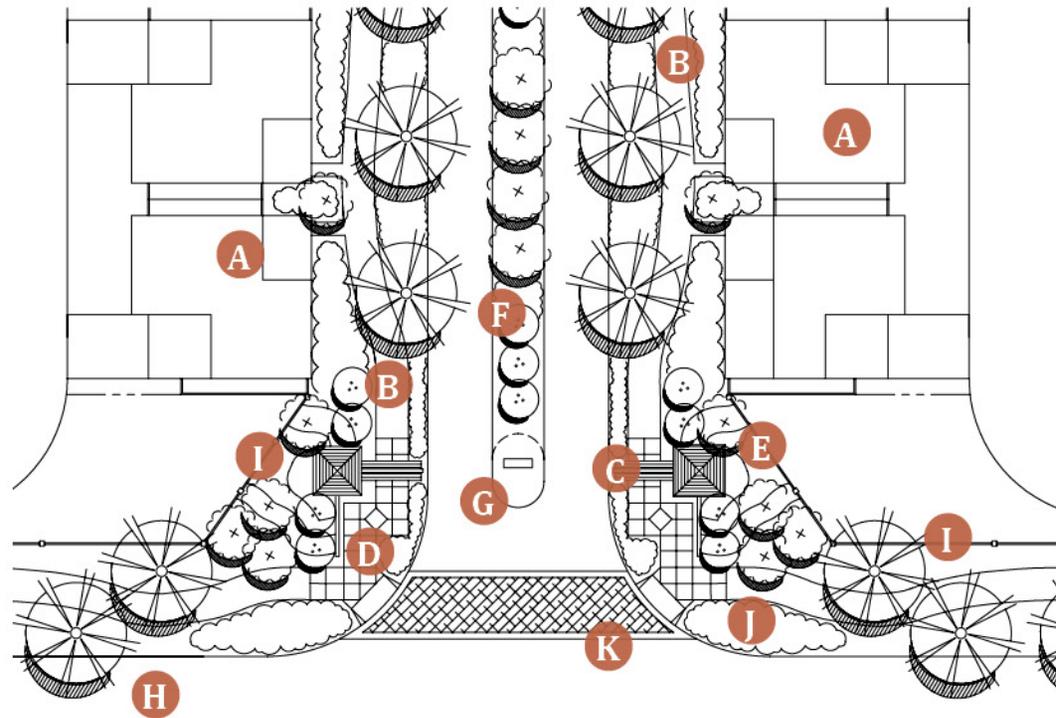
The hierarchy of monumentation shown in Figure 5-2a, portrays how the public areas throughout the project work together to establish the overall framework for the community. Primary and gateway monumentation shall be designed in accordance with the standards set forth in Appendix F Monumentation Guidelines.

5.4.1 Primary Monumentation

1. Regional and historic design references are encouraged, with the implied handcrafting of materials and finishes. Stone and brick finishes should be used as accents and highlights to imply traditional building methods.
2. Primary monumentation will serve as portals to Roberts' Ranch, clearly visible to pedestrians and motorists in both directions, and create a clear sense of destination using gables, arches, overhangs, retaining walls, special paving at pedestrian access, wall wash lighting, street furnishings, and other elements that set them apart from their surroundings.
3. Signage that is incorporated into primary monumentation shall be used as a focal point, and coordinated at all sizes and scales to other monumentation. The use of ceramic, polished stone, patina metal, or other materials that establish Roberts' Ranch logo and theme at monumentation is encouraged.
4. Primary monumentation may be accompanied by smaller accessory pillars, side walls, or fences to accentuate their surroundings.



Figure 5-2a Primary Entry Landscape Concept



- A** street fronting residence at major collector/two lane arterial
- B** meandering pedestrian trail
- C** paseo and gatehouse at project entry
- D** enhanced paving and seatwall
- E** landscape mounds to reinforce entry effect
- F** landscaped median at divided two lane arterial
- G** center island and monument option at undivided major collector
- H** perimeter streetscape
- I** decorative masonry walls
- J** ornamental planting at entry
- K** colored and textured asphalt crossing

key map



Gateway Monumentation Location

b.



5. Primary and gateway monumentation shall be designed in accordance with the standards set forth in Appendix F Monumentation Guidelines . See Figure 5-2a for location.
6. See Section 5.7.1 for monumentation planting palette.

5.4.2 Secondary Monumentation

1. Secondary monumentation shall serve to mark neighborhood entries at Roberts' Ranch. Secondary entries should be designed using elements consistent with primary monuments, and scaled to relate to neighborhood homes, street section, and surrounding landscapes and walls. The location of Secondary monumentation is shown on the key map in Figure 5-2b.
2. Secondary monumentation shall have special paving at pedestrian access, street furnishings, and other elements that set them apart from their surroundings.
3. Secondary monuments shall not have special lighting, to better blend with the neighborhood street scene.
4. Landscape elements such as side walls and massed landscape, tying secondary monumentation to its location, are encouraged.

5.4.3 Trail Markers

1. Non-vehicular entries to Roberts' Ranch can be found at several places on the trail system, and shall be defined by durable monuments with a pedestrian scale. These designs may vary to reflect interpretive meanings or public art contributions.
2. Trail markers may be used to highlight trail crossings of major streets, or trail connections to recreational uses.
3. Materials for trail markers should reflect the overall themes being developed as part of the monumentation program.

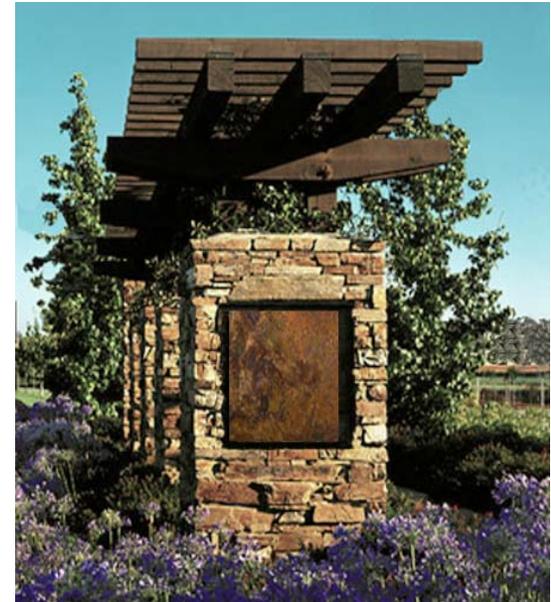


Figure 5-2b Secondary Monumentation Key Map





5.4.4 Roundabouts and traffic circles

1. Roundabouts and traffic circles will form a significant planning element at Roberts' Ranch. The design of landforms, planting, and built elements within them shall create spaces that give character to the space. Sculptural elements may occur at roundabouts and traffic circles regulating arterial and collector streets.
2. Roundabouts and traffic circles shall conform with the City of Vacaville line of sight standards. Visual interest shall be created with gentle mounding, symmetrical patterned mow curbs, blocks of water efficient, heat resistant, landscaping, that are able to retain a neat appearance with minimal maintenance.
3. Planting at streetscapes bordering roundabouts and traffic circles should further define the roundabout with geometric hedgerows, columnar tree planting, and ground plane planting similar to that inside the roundabout.
4. See Section 5.7.3 for plant materials appropriate for roundabouts and traffic circles.



5.5 Walls and Fences

The following guidelines apply to walls and fences required at intersections of private property, differing land uses, and the boundaries of Roberts' Ranch. Walls and fences shall be constructed to achieve City of Vacaville line of sight standards. Well detailed and constructed wood and steel fences are encouraged where conditions require fencing for privacy and safety. Neutral color, penetrating stain of cedar or redwood, and fabrication with metal screws, is required for any wood construction visible from public areas. Painted wood fences shall not be allowed.

The form, materials, and finishes for walls and fences shown in Figure 5-3a, portray how themes will be established at adjoining uses consistent throughout the community.

5.5.1 Public to Public conditions

1. Where two public land uses adjoin (example: Railroad right-of-way and active open space) and a separation is required, a steel T-post and three strand smooth wire fence no taller than 48" shall be used. The boundary between detention basin and active open space shall remain unfenced.

5.5.2 Public to Private conditions

1. Where residential lots occur at existing perimeter streets bounding Roberts' Ranch such as Leisure Town, Alamo, or Fry Road, a decorative masonry wall 6 feet in height, shall be installed; a height of 8 feet shall occur at Leisure Town Road. Decorative masonry wall shall mean split face or stone faced with a pre-cast cap, and shall be designed to maintain visual interest. Decorative pilasters with stone or plaster veneer should anchor wall ends, changes in direction, or provide breaks in the wall as necessary for appropriate wall design. Masonry walls at public to private conditions shall be located entirely on public land. See Figure 5-4a.
2. Where private yards side onto or back to public roads within the community, a 6 foot high enhanced wood wall will be used. See Figure 5-4b for details.
3. Where public land uses and private land uses adjoin at residential front yards, (example: transition from residential street to stroller park) a tube steel fence with top rail, minimum 5 feet in height, shall mark the transition from solid wood wing fence or masonry wall to within 5 feet from back of walk. The fence shall have a durable, dark colored finish. See Figure 5-4d.





4. Where private homes side onto stroller parks, a precast pier and panel fence will be located entirely on public land to provide a more durable separation between public and private uses. See Figures 5-3b and 5-3c for plan view conditions and Figure 5-4e for an example photograph.
5. Homes fronting onto the major collector or two lane arterial within the frontage overlay zone as described in Section 2.3.1, will have a unique wall situation in their rear yards, as these homes will have entries on both the front and rear as described in Section 6.4.12. Wall heights will range from 4 feet to 5 feet depending on the relationship of the pad grade to the sidewalk elevation, in order to maintain about a 5 foot height separation from the sidewalk. These walls will consist of a concrete masonry core with a stucco surface. The wall color should be a light, neutral base, and match the main house color where possible. The landscape will be designed to screen the wall over time as shown in Figure 5-4f. See the plan view graphic of this scenario in Figure 5-1 for more detail.

5.5.3 Private to Private conditions

Where private land uses adjoin (example: residential lots) and a separation is required, a wood fence with cap and overlapping boards shall be installed. The fence shall appear the same from both sides. These fences shall be stained and sealed with a neutral color, penetrating transparent stain. Side yard wing fences shall return to architecture at a well-defined niche, pop-out, or other feature. Details such as curved gate tops, lattice view panels, trellises, and arbors are encouraged. See Figure 5-4c.



Figure 5-3a Wall and Fencing Plan

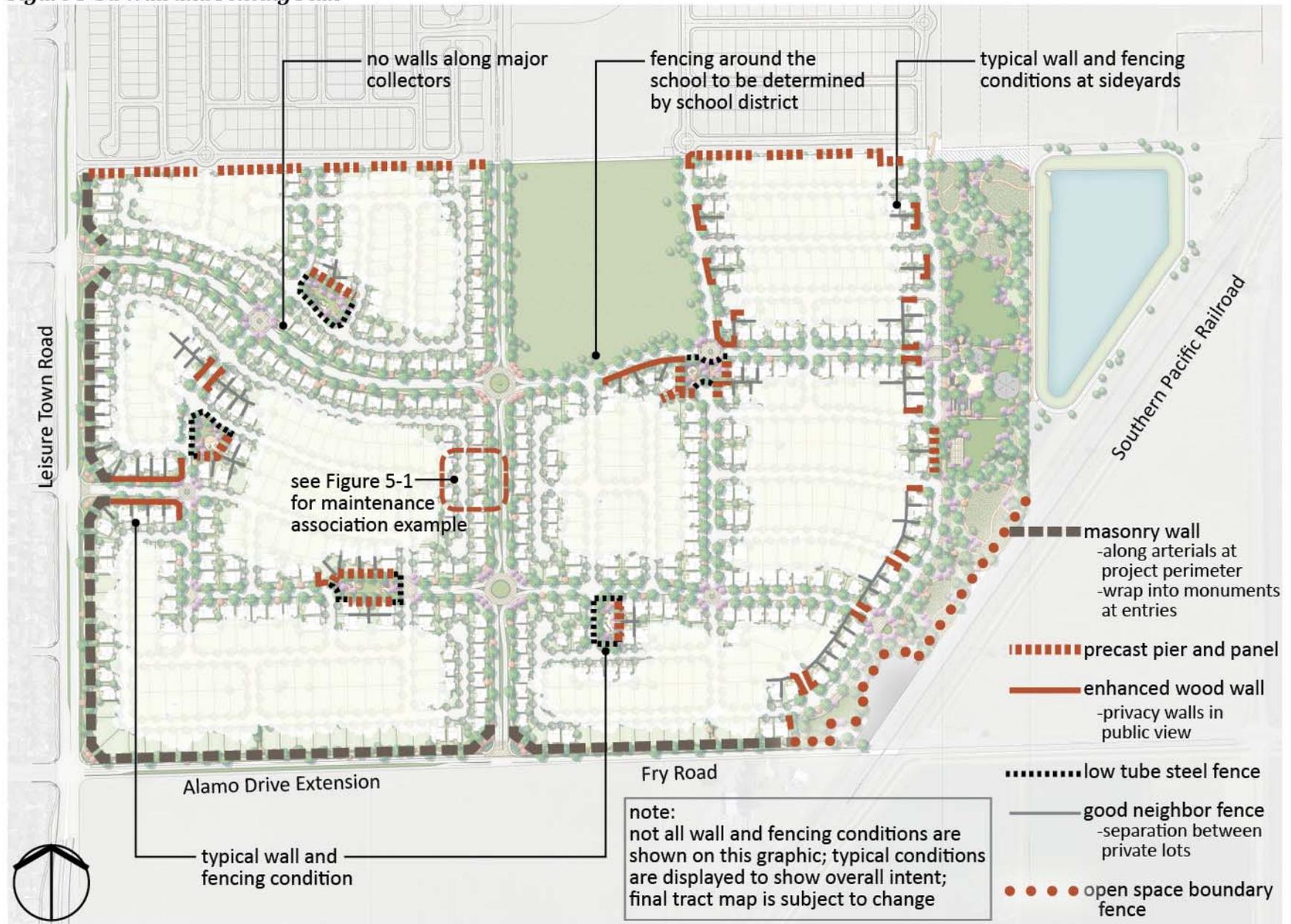


Figure 5-3b Through-Block Stroller Park Fencing Concept



■ ■ ■ ■ ■ precast pier and panel fence
-see Figure 5-4e

■ ■ ■ ■ ■ low tube steel fence
-see Figure 5-4d

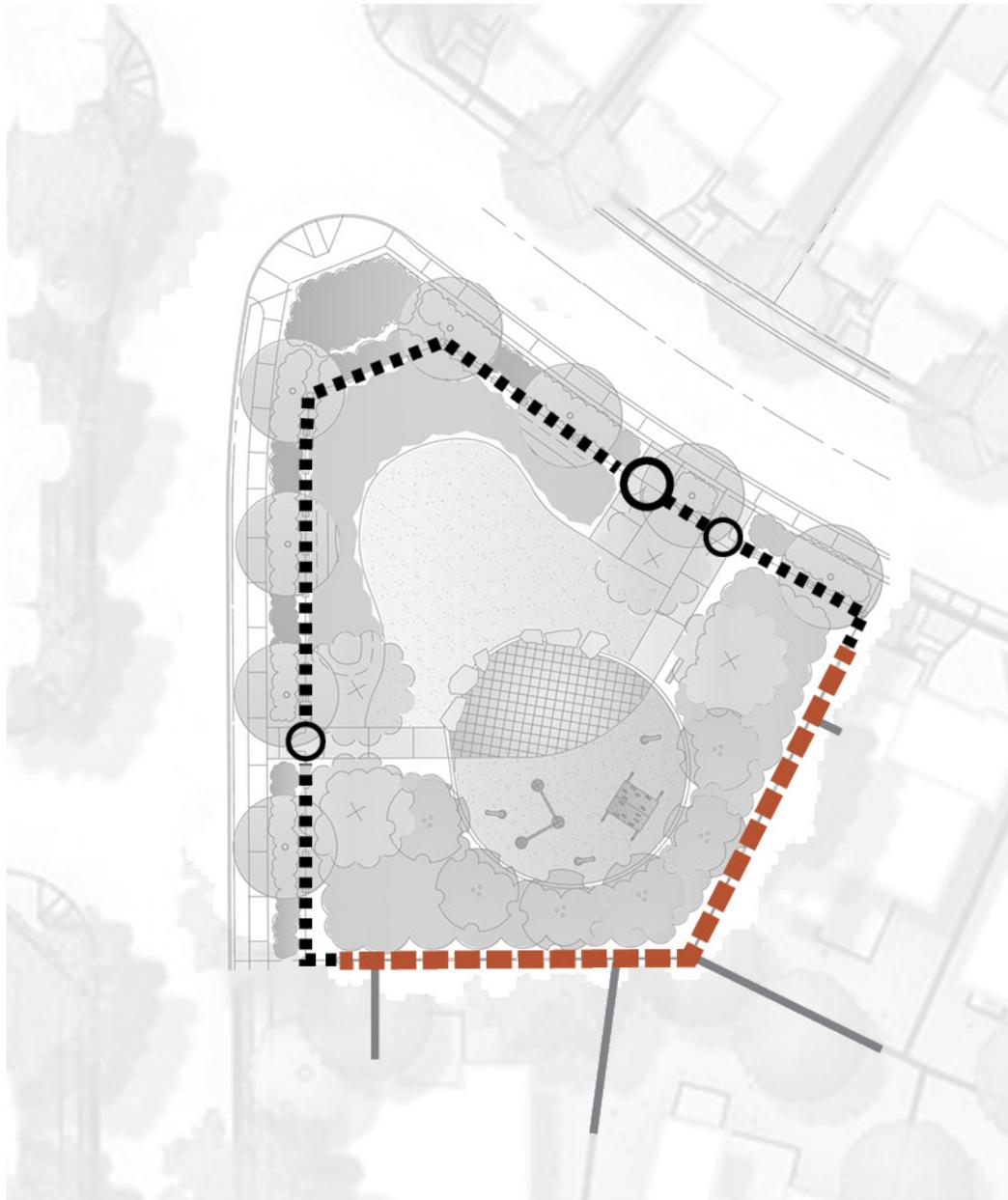
○ self-closing gate/maintenance access

— good neighbor fence
-see Figure 5-4c

key map

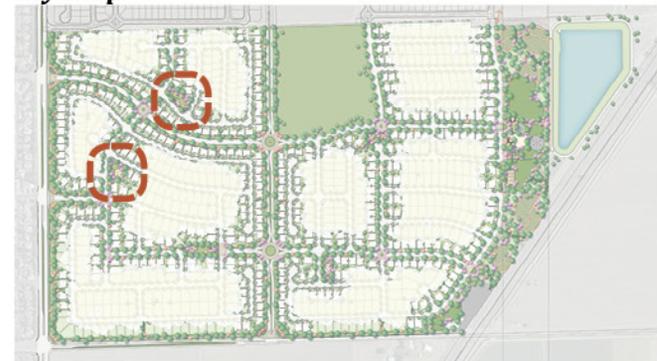


Figure 5-3c Pocket Stroller Park Fencing Concept



-  precast pier and panel fence
-see Figure 5-4e
-  low tube steel fence
-see Figure 5-4d
-  self-closing gate
-  locked maintenance access gate
-  good neighbor fence
-see Figure 5-4c

key map



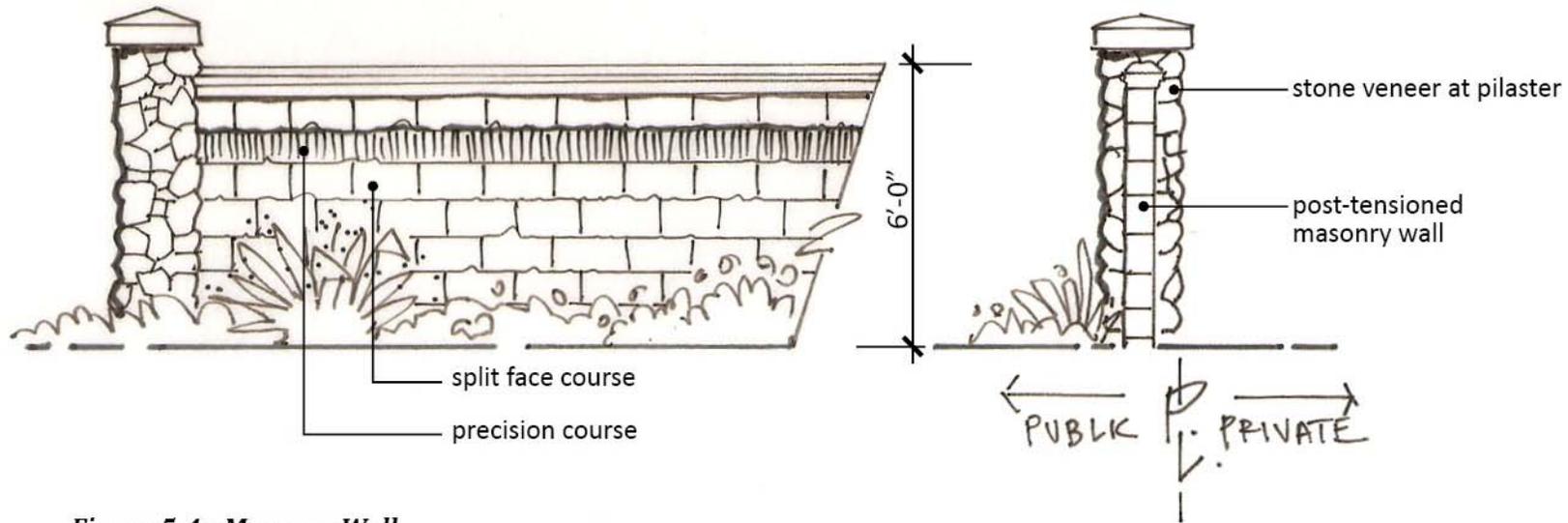


Figure 5-4a Masonry Wall

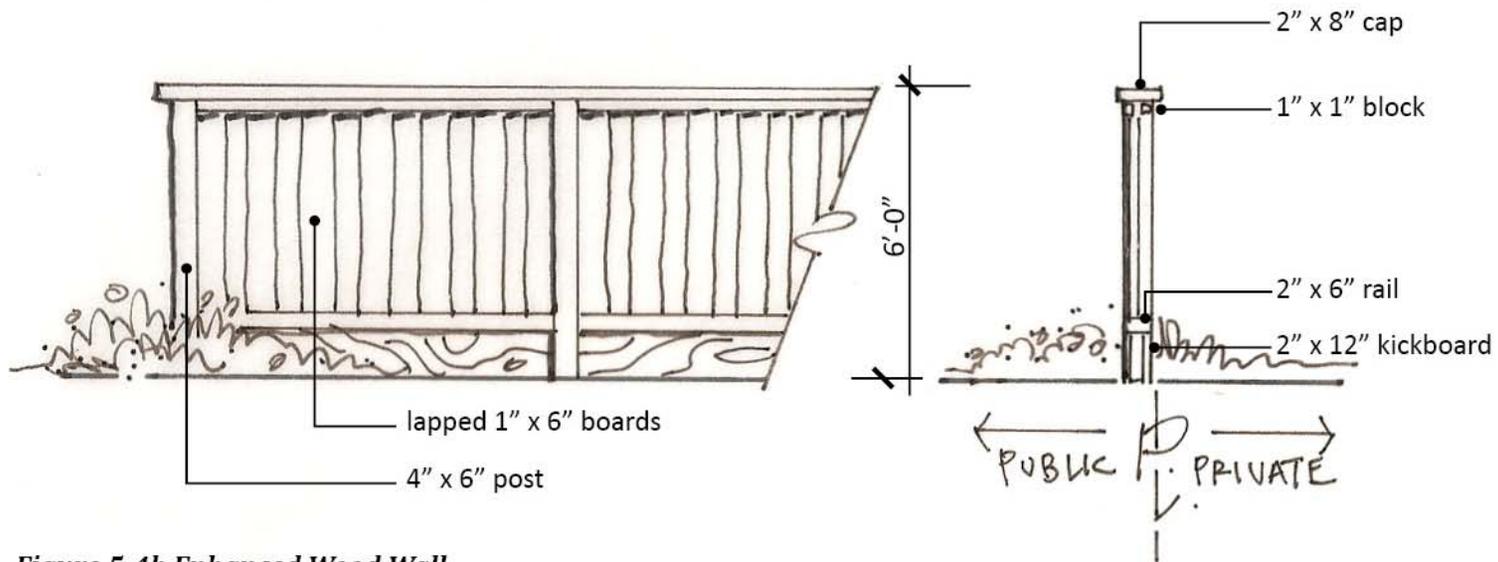


Figure 5-4b Enhanced Wood Wall

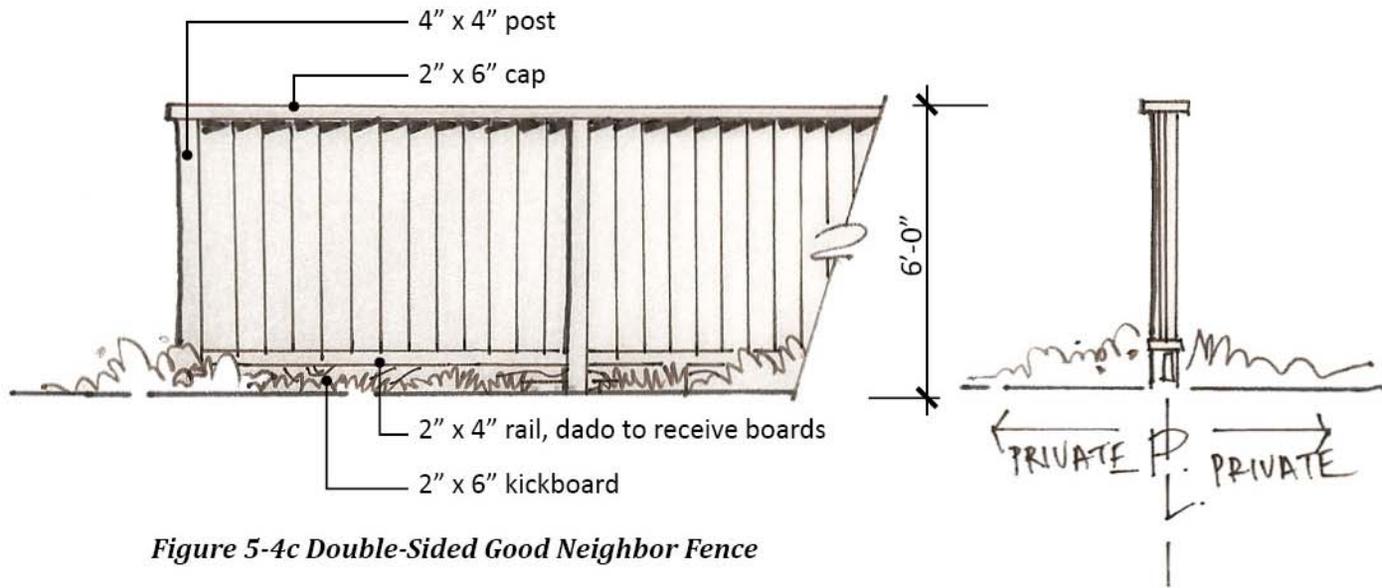


Figure 5-4c Double-Sided Good Neighbor Fence

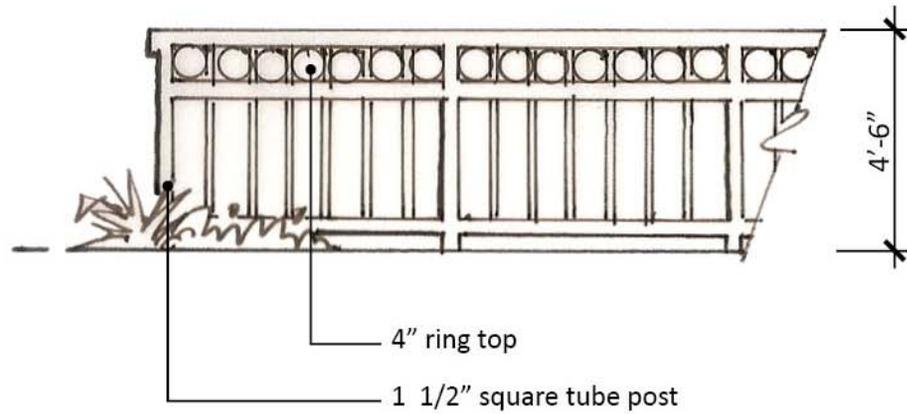


Figure 5-4d Tube Steel Enclosure Fence



Figure 5-4e Precast Pier and Panel Fence



wall varies 4 feet to 5 feet high to maintain about 5 feet of height separation from the sidewalk elevation to the top of the wall

concrete masonry block with stucco finish matching the home

landscape designed to cover the wall over time

Figure 5-4f Frontage Overlay Zone Courtyard Walls



5.6 Irrigation and Water Use Guidelines

5.6.1 Source Standards

1. The irrigation supply for public areas of Roberts' Ranch is anticipated to be recycled. All supply lines, valves, and sprinkler heads are required to be marked as such, and public landscapes signed to indicate the use of recycled water.
2. Planting design for public areas of Roberts' Ranch should account for the chemical and nutrient composition of recycled water.

5.6.2 Hydrozones and Microclimates

3. Plant materials shall be grouped according to the hydrozone they are placed in with similar water needs, solar exposure, and maintenance needs of a plant group.
4. Plantings of shade tolerant or moderate water use plants shall be limited to protected micro-climates created by the built environment, walls, entries, neighborhood stroller parks, public art installations, and interpretive sites.
5. Drip or sub-surface irrigation is required at street adjacent landscapes, tree and evergreen shrub planting, areas 8 feet or less in width, sloping conditions, and within 3 feet of fences, walls, and structures.

5.6.3 Water Use Ordinances

1. All landscape design, materials, submittals and testing must comply with the Vacaville Model Water Efficient Landscape Ordinance (MWELO).

5.7 Community Landscape plant list

5.7.1 Monumentation and Entries

Planting at Monumentation and Entries shall be used to create context and reinforce the themes and materials they frame using massing, seasonal color, and vertical size. See Table 5-1 for examples of recommended varieties.

Table 5-1 Monuments and Entries Recommended Plant List

Trees	Shrubs and Perennials	Groundcovers and Grasses
Ginkgo Sentry	Anigozanthos flavidus	Arctostaphylos Emerald Carpet
Liriodendron fastigatum	Hemerocallis Terra Cotta	Muehlenbeckia axillaris
Acer Autumn Blaze	Heteromeles arbutifolia	Miscanthus Cosmopolitan
Carpinus fastigiata	Dodonaea viscosa	
Cotinus Grace	Ilex Green Lustre	
	Phormium Sundowner	
	Rosa White Carpet	
	Viburnum Spring Bouquet	

5.7.2 Leisure Town Road, Alamo Drive Extension, Fry Road

Planting at Leisure Town/Alamo Drive/Fry Road shall be used to create colonnades of shade trees and simple groundcovers, alternating with open, sun-loving plantings that soften the effects of traffic and development, provide year-round greenery, and are low maintenance. See Table 5-2 for examples of recommended varieties.

Table 5-2 Leisure Town Road/Alamo Drive/Fry Road Recommended Plant List

Trees	Shrubs and Perennials	Groundcovers and Grasses
Acer macrophyllum	Arctostaphylos Howard McMinn	Anemanthele Autumn Tints
Cotinus Grace	Dietes Lemondrop	Baccharis Pigeon Point
Nyssa sylvatica	Heteromeles arbutifolia	Carex divulsa
Olea Swan Hill	Leonotis leonurus	Calamagrostis Karl Foerster
	Phlomis fruticosa	
	Phormium Tricolor	
	Rhamnus San Bruno	
	Rosmarinus Tuscan Blue	

5.7.3 Major Collectors/Two Lane Arterials

Planting at Major Collectors and Two Lane Arterials, including roundabouts and traffic circles, shall create a consistent visual setting for drivers and pedestrians using masses of grasses and low shrubs, with flowering trees and shrubs concentrated in medians and at intersections. See Table 5-3 for examples of recommended varieties.

Table 5-3 Major Collectors/Two Lane Arterials Recommended Plant List

Trees	Shrubs and Perennials	Groundcovers and Grasses
Cercis Oklahoma	Artemisia Powis Castle	Helictotrichon sempervirens
Lagerstroemia Tuscarora	Callistemon Little John	Myoporum Pacifica
Quercus lobata	Grevillea rosmarinifolia dwarf form	Juncus Elk Blue
Zelkova serrata	Teuchrium compactum	Pennisetum rubrum
	Olea montra	Tulbagia Silver Stripe
	Rosa Apricot Carpet	Lippia nodifolia "Kurapia"
	Hesperaloe species Yucca Color Guard Punica nana Leuchophyllum frutescens	

5.7.4 Minor Collectors

Planting at Minor Collectors shall be scaled to create a transition to residential streets and private landscapes, providing diverse and colorful groupings and accents. See Table 5-4 for examples of recommended varieties.

Table 5-4 Minor Collectors Recommended Plant List

Trees	Shrubs and Perennials	Groundcovers and Grasses
Acer Autumn Blaze	Abelia Kaleidoscope	Juniperus Blue chip
Lagerstroemia Natchez	Coleonema Sunset Gold	Hypericum calycinum
Pistachia chinensis	Hesperaloe parvifolia	
Tilia cordata	Limonium perezii	
	Leucodendron Winter Red	
	Nepeta superba	
	Pittosporum Golfball	
	Salvia mexicana	

5.7.5 Residential Streets and Neighborhood Landscapes

Planting at Residential Streets and private Neighborhood Landscapes shall be scaled to the adjacent residences and suited to smaller spaces and more regular maintenance. Accent trees shall be located to create an understory to the street tree program. See Table 5-5 for examples of recommended varieties.

Table 5-5 Residential Streets and Neighborhoods Recommended Plant List

Trees	Shrubs and Perennials	Groundcovers and Grasses
Acer buergerianum	Coleonema alba	Convolvulus mauritanicus
Arbutus marina	Choysia Sundance	Erigeron karvinskianus
Gingko Sentry	Cordyline Festival	Jasminum asiaticum
Laurus saratoga	Heuchera Purple Palace	
Prunus Krauter vesuvius	Loropetalum Purple Diamond	
Sophora japonica	Myrtus variegata	
Tilia cordata	Nandina murakasi	
Zelkova serrata	Prunus caroliniana	
	Phormium Maori Queen	
	Punica nana	
	Rosa White Carpet	
	Teuchrim lucidrys	
	Viburnum Spring Bouquet	

5.7.6 Parks and Open Space

Planting at Parks and Open Space shall be adapted to the scale of each site. Planting at the agricultural buffer/community open space area shall be very drought tolerant, reflecting the larger regional landscape with large massings and organized tree groves. Planting at stroller parks, play areas and group facilities shall be themed for each site (pollinators, birds, habitat value, etc.). See Table 5-6 for examples of recommended varieties.

Table 5-6 Parks and Open Space Recommended Plant List

Trees	Shrubs and Perennials	Groundcovers and Grasses
Cercis occidentalis	Achillea Moonshine	Bacchris Pigeon Point
Pinus halepensis	Condrotetalum tectorum	Carex divulsa
Populus italica	Elaeagnus fruitlandia	Carex testacea
Olea Swan Hill	Grevillea noelii	Lippia nodifolia
	Hypericum Hidcote	Muhlenbergia rigens
	Leucophyllum fructescens	Festuca mairei
	Lupinus albifrons	Carex barbarae
	Phormium Black Adder	No-Mow Fescue*
	Rhamnus San Bruno	
	Santolina virens	
	Zauschneria californica	
		*limit no-mow fescue to seating areas, active use adjacent, group facilities