

# 6.0 VILLAGE DESIGN GUIDELINES

All standards and guidelines of this Chapter are intended to ensure development is consistent with the goals and intent of the Policy Plan, PD, and VTM. Consistent with the PD, Chapter 5 and 6 are intended to implement the following policies:

**Policy 6-1** Provide design guidelines for LLV that ensure it is an attractive place and source of pride for Vacaville residents.

**Policy 6-2** Create an attractive residential and workplace setting that complements surrounding land uses.

## 6.1 RESIDENTIAL VILLAGES

Quality design and diversity is essential for placemaking at LLV. Builders are encouraged to design diversity into each neighborhood by creating unique streetscenes, well-crafted floor plans, and a variety of blended architectural styles.

The following principles will support the goals and policies of LLV and guide the composition of neighborhoods and the design of architecture to ensure quality placemaking:

- Provide a varied and interesting streetscene;
- Focus on the living areas of the home engaging the street;
- Design homes that are simple in form;
- Ensure that plans and styles provide a degree of individual identity while being compatible;
- Use architectural elements and details that reinforce architectural styles; and
- Choose appropriate massing, roof forms, and colors to define the architecture styles.

## Village 1

Village 1 is a mixed-use village with a focus on neighborhood design values that bring neighbors together and activity to the streetscape. Alley-served single-family homes are nestled between the Town Center, open spaces, the Village Green, and the golf course. Stoops and porches articulate tree-lined streets to create a pedestrian- and neighbor-friendly experience. The neighborhood is designed in a simple bent grid with short blocks and alley-served homes to promote eyes and active architecture on the street. Affordable mixed-use living units are permitted in the “Town Center.”

## Village 2

Village 2 is a curvilinear single-family neighborhood with a variety of home sizes. The Village design responds to the hill side setting and golf course and open space views. Many open-ended cul-de-sacs connect homes to a large linear park. Blocks are generally short, and open-ended cul-de-sacs provide a strong pedestrian connection and views to the open spaces of Village 2. A mix of homes provide opportunity for varied home design and setbacks.

- 5,000 SF Lots
- Town Center
- Open Space/Rec
- Fire Station
- Business Village
- 6,000 SF Lots
- 8,000 SF Lots
- 7,000 SF Lots
- 10,000 SF Lots



Village 1 Conceptual Plan



Village 2 Conceptual Plan

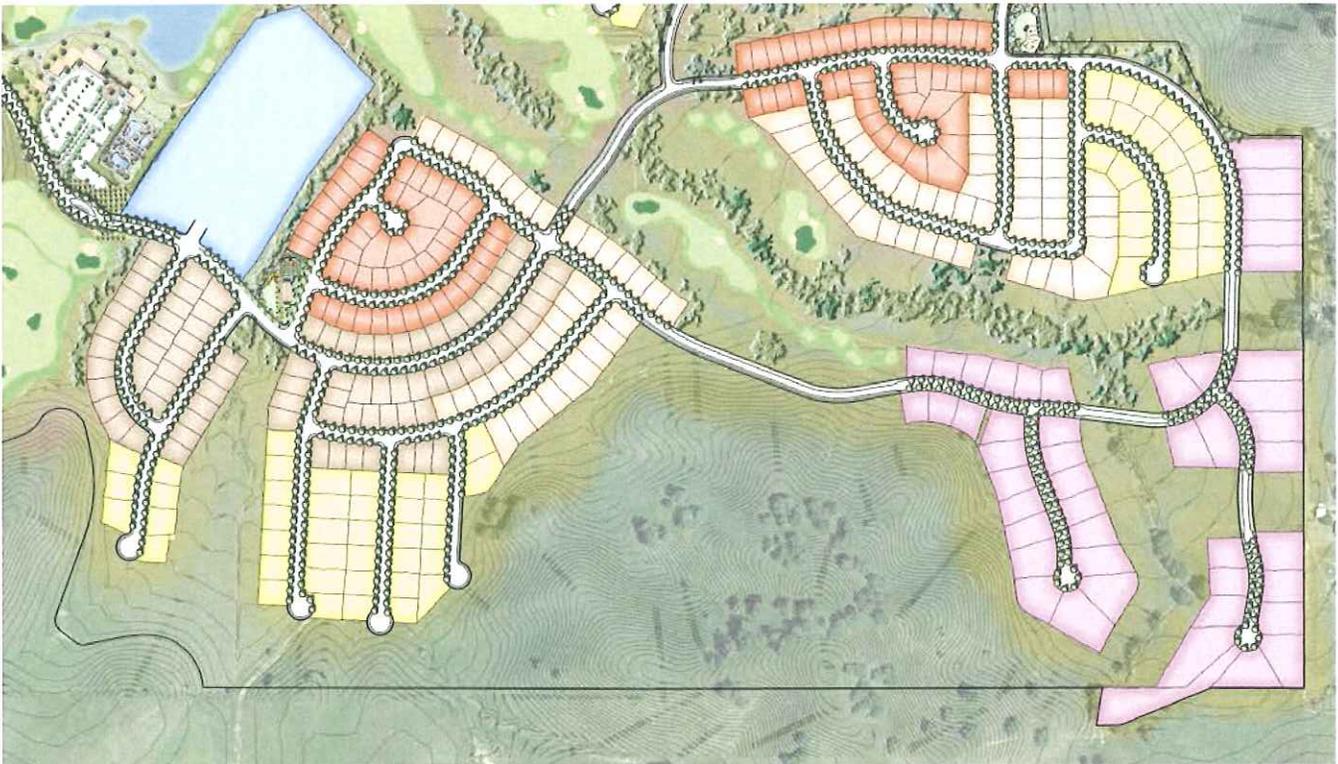
**Village 3**

Village 3 combines neighborhood placemaking elements with curvilinear streets allowing many homes to capture views of the golf course or surrounding open space. Village 3 includes the broadest range of home types from age-qualified homes to large custom single-family homes.

**Neighborhood Crafting**

The villages of LLV have been carefully crafted to create intimate neighborhoods. Short block lengths, mixed product types, and views to the golf course and open space make each Village special. The design criteria and standards of this chapter are intended to further enhance these Villages through quality placemaking and architectural techniques.

- 6,000 SF Lots
  8,000 SF Lots
  Custom Lots
- 7,000 SF Lots
  10,000 SF Lots
  Age-Qualified



*Village 3 Conceptual Plan*



*Architectural design highlights entry and living portion of the home along the street*

## 6.2 RESIDENTIAL DESIGN GUIDELINES

Within all LLV Villages, homes should be well planned, designed, and built to create attractive and intimate neighborhoods. The images in this chapter are intended to be inspirational and convey an overall aesthetic, not to indicate specific styles, details, or level of construction.

**Policy 6-3** Garage doors should not become the dominant element of the front elevation. Relief should be achieved by varied orientation, proportion and scale, detail organization, and color.

### 6.2.1 Engaged Streetscenes

The character of LLV streetscenes are defined by the design and placement of residences. The character of each residence, whether it be the style of architecture, perception of massing, or unique organization, should contribute to an engaging, well-balanced contextual streetscene.

This shall be achieved through the use of the following design features:

#### *Street Front Architecture*

The living portions of the home should visually dominate the streetscene. Home design are encouraged to place entries, windows, front porches, covered terraces, and living areas directly facing the street on most plan variations.



*Massing, garage placement, and staggered front yard setbacks create engaging streetscene*

*Varied Home Designs*

The design and width of homes has a strong impact on the visual quality of the streetscene. Each neighborhood shall include:

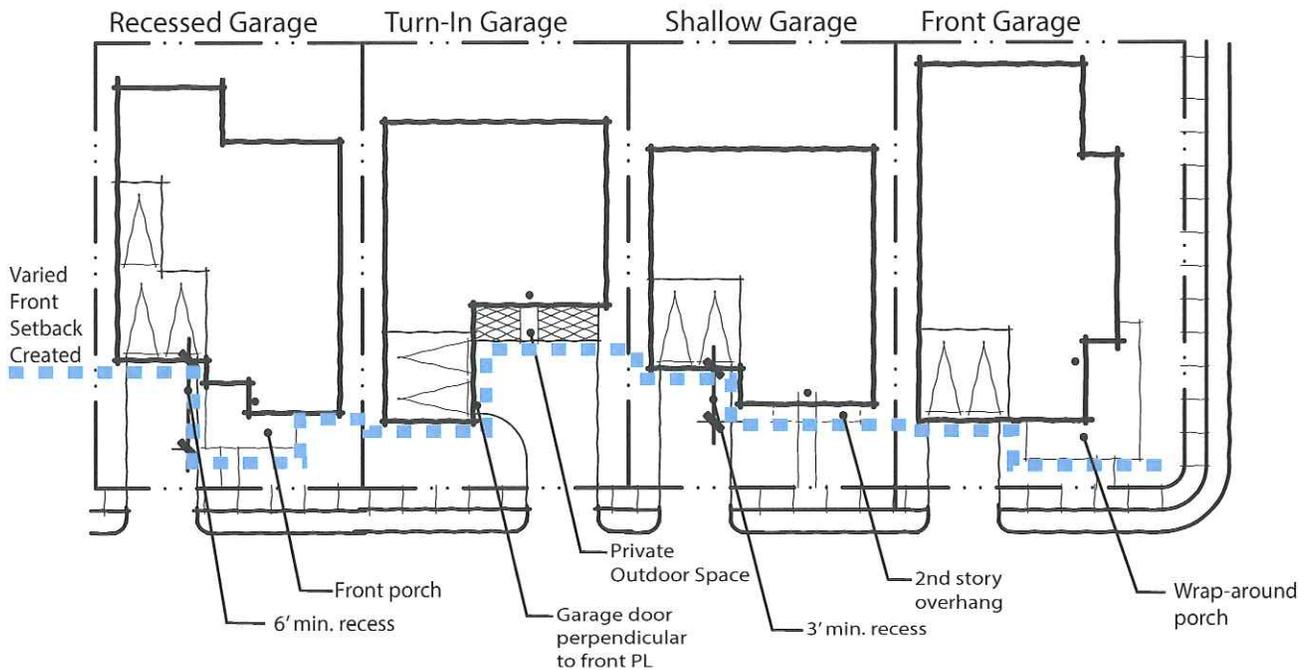
- One "variation" plan designed to be 5 feet different in width or depth from the other plan(s)
- The "variation" plan shall comprise a minimum of 15 percent of the plotted homes
- A single-story plan may be substituted as the "variation" plan

It is encouraged that the standard and "variation" plans be plotted on a single block or streetscene to create visual interest.

*Varied Front Yard Setbacks*

The living portions of the home should activate the streetscene experience. Plans are encouraged to provide a varied front yard experience, where homes are located at different setbacks along a streetscene.

Design plans to vary the front yard condition between plans. This can be achieved through the design and location of living space, front or wrap around porches, second story balconies or overhangs, and courtyard design features or setbacks.



*Engaged Streetscene Features Encouraged*



## *Varied Garage Configurations*

Implement architecture forward design by de-emphasizing the garage from the front property line. Design plans to vary the placement or configuration of the garage between plans. Each conventional lot type (see Table 2.3) shall provide a minimum of 2 different garage configurations selected from the following:

- Front garage - located in the same plane as the front elevation of the home, this configuration shall not be used in combination with the "shallow garage" configuration.
- Shallow garage - located a minimum of 3 feet behind the front porch or living space.
- Recessed garage - located 6 feet or more behind the front porch or living space.
- Turn-in garage - garage doors perpendicular to the front property line; architectural treatment of the elevation facing the street shall include a window or feature complementary to the architectural style of the home; blank walls are prohibited.
- Single-car door spaces - any garage configuration designed to provide 2 single-car door spaces rather than a single 2-car door.
- Corner-accessed garage - located a minimum of 5 feet behind the front plane of the porch or living space, may be attached, detached, or turn-in configuration.

Alley-served lot types are not required to vary the garage configuration.

*Garage configuration examples*

### 6.2.2 Garage Guidelines

Plot and reverse plans when possible so that garages and/or entries are adjacent to each other. Occasionally, break this pattern so that it will not become overly repetitious or reflect the massing directly across the street.

- Minimum 2-car garage size is 20-foot x 20-foot clear dimension with a 16-foot wide door or two single doors.
- Tandem garages recommended to be 36 feet deep.
- Only a 2-car garage space permitted to face the street on lots less than 7,000 square feet; additional garage space may be provided in turn-in or tandem configurations.
- On lots of 7,000 square feet or more, minimize garage-dominant architecture; 3-car garages facing the street encouraged to be the non-dominant configuration.
- Additional garage car space (third and fourth car spaces) may be provided in turn-in or tandem configurations.
- On custom lots, garage door views should be minimized where possible, working with the grades of the lot, considering tandem and turn-in garage configurations, and providing architecture forward.

#### Garage Doors

Garage doors are the most impactful feature of the garage. Builders are encouraged to consider the following in the design and selection of garage doors:

- Design garage door patterns consistent with the style of the home
- Provide different style door patterns
- Vary the inclusion of window lites

#### Driveways

The treatment of the driveway can further enhance the streetscape. The following techniques are encouraged:

- Reduce glare with colored or washed concrete
- Minimize driveway widths as much as possible
- Taper driveways when garage face is more than 30 feet from back of sidewalk
- Consider enhanced paving (decorative concrete with score lines, etc.), texturing, or Hollywood drives



*Garage configuration examples*



*Single-story plan with offset wall planes*



*Single-story living space and style-appropriate front porch*

## 6.2.3 Form and Massing

Homes should be broken down into smaller components to reduce the appearance of mass, provide variety along the streetscape, and create pedestrian-scaled elements along the street. Vary massing from plan to plan through a variety of architectural techniques and treatments such as:

- Varied roof forms, pitches, and heights
- Offset wall planes and stories
- Changes in materials and color
- Clearly defined entry features

### Single-Story Elements

Single-story architectural elements generate interest and variety along the streetscape composition. Single-story elements create a pedestrian scale to the neighborhood and reduce the overall building massing. Homes with a significant single-story element are encouraged and can be achieved by:

- Front or wrap-around porch
- Single-story living space
- Second-story recess of 5 feet or greater from the first story
- Prominent first-story entry feature



*Massing and varied setbacks create undulating streetscene*

## Outdoor Living

Outdoor living spaces, including porches and courtyards, activate and promote neighbor interaction. Outdoor living spaces can also create indoor/ outdoor environments opening up the home to enhance indoor environmental quality.

### *Porches*

Porches are encouraged to add architectural interest and functionality to the front of a residential structure. They add depth to a building façade, break-up large wall masses, and provide a pedestrian-friendly scale and opportunity for social interaction. Where provided porches shall:

- The design of the porch shall be consistent with the architectural style of the home.
- If provided, the porch shall a minimum of 6 feet deep to accommodate seating.

### *Front Courtyards*

The California climate is perfectly suited for the use of front courtyards to promote social interaction.

- If provided, the courtyard shall a minimum of 6 feet deep to accommodate seating.
- The courtyard wall and gate shall match the architectural style, i.e. stucco, stone, etc.

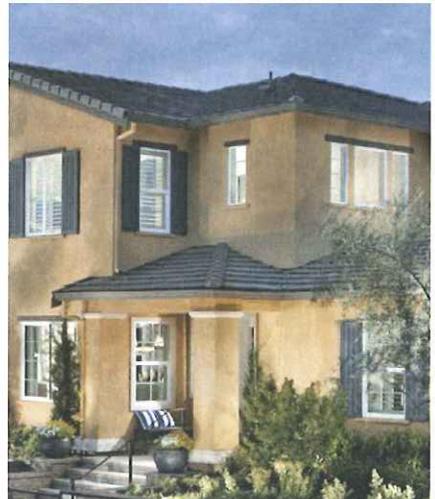
### *Outdoor or California Rooms*

Outdoor or California Rooms are optional design features that can promote outdoor living. These are usually single-story elements that articulate the front, corner side, or rear elevation. Outdoor or California Rooms can effectively add massing variation to sensitive edge conditions. Accessory structure casitas can also be used to achieve this.

### *Entries, Doors & Gateways*

Entries shall be articulated as a focal point of the building's primary elevation. Entries are encouraged to be covered or recessed (consistent with the architectural style) in order to create a welcoming appearance, promote individuality, and increase privacy.

Main entry doors and gateways should be thoughtfully selected to match the specific style of architecture. Courtyards and entry doors should be treated with detail of equal level.



*Example porches, single-story elements, and entries*



*Edge conditions example*

## 6.2.4 Edge Guidelines

The character of visible edges is a vital element to the overall quality of LLV. Due to the undulation of the site, adjacent open spaces, and homes located along the golf course, elevations visible from these spaces shall be treated in a manner respectful of their impact on the community. Whether from a distance or close range view, silhouettes and massing of homes along these edges should be treated with design sensitivity. Refer to Figure 6.1: Edge Location Diagram.

### Edge

Homes with rear architectural enhancements, shown on Figure 6.1: Edge Location Diagram, shall be designed to provide the following:

- Main roof span variety between plans (front-to-rear, side-to-side, gables and hipped roofs)
- Two different visible roof or ridge forms (primary gable with cross gable, etc.)

In addition, each elevation located on an edge shall provide one of the following:

- Significant massing offset (minimum 3-foot offset)
- Single-story massing
- Second-story projection (minimum 3-foot offset)
- Outdoor room or California room



*Massing, roof design, and window treatments contribute to varied edge conditions*



Figure 6.1: Edge Location Diagram



*Wrap-around porch on corner lot*

## Corner Lots

Special consideration should be given to the street-side elevation on corner lots. Homes on corners are encouraged to have single-story elements and wrap-around porches to create soft edges for the street corners. The visible corner-side elevation should provide a similar level of architecture as the front elevation in detail and articulation; architectural details on the corner side elevation shall be consistent with the style (banding, boxed eaves, pot shelves). The following enhanced elements, consistent with the architectural style of the home, are encouraged:

- One-story elements on the visible side
- Same level of architecture as the front elevation
- A significant massing offset (architectural projections, balcony, dormers)
- A minimum of 1/3 the length of the home should be exposed (see Figure 5.34 Corner Lot Fence Diagram)
- Wrap-around porches, courtyards, or entry doors oriented toward the side street
- Window treatment (prominent shape or size, style-appropriate shutters, and/or grid pattern and/or divided lites on primary window) consistent with the front elevation



## 6.2.5 Universal Design, Age-Qualified Homes

Universal design is an important consideration for an age-qualified community. Single-level homes, first-floor access, at least one bedroom downstairs, and appropriate size and space for everyday experiences, provides options for people in all life stages.

The following design features may be incorporated in age-qualified homes and developments:

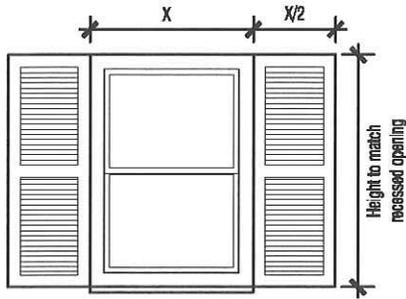
- Accessible path of travel to the home (could be through garage or patio door)
- Maximum 1/2-inch threshold
- Open, functional floor plans with wide doors (32 inches) and hallways
- Maximized natural light
- Lever door handles
- Entry door sidelight or lower peep holes
- Light switches, electrical outlets, thermostats, and doorbell within reachable distance
- Under cabinet task lighting



- Visual fire alarms and doorbells
- Shower handrail/grab bar reinforcement for future installation
- Lever plumbing fixtures
- Anti-scald devices on all plumbing fixtures
- Rocker light switches
- Accessible bathroom

The following design features are additional options that may be considered to increase the age-qualified livability of the home:

- Adjustable closet brackets/rods
- Accessible kitchen:
  - Microwave oven at counter top height
  - Pull-out shelves or height-adjustable cabinets to increase accessibility
  - Removable base cabinets at sink
  - Lower counter top height of 28 inches
  - Lazy Susan in base cabinets
  - Contrasting color edge border at counter tops
- Accessible bathrooms:
  - Grab bars installed
  - 36-inch x 36-inch or 30-inch x 48-inch clear space
  - Open-front lavatory with knee space
  - Contrasting color edge border at counter tops
  - High water closet seat
  - Roll-in or transfer type shower
  - Shower stall with low thresholds
  - Hand-held adjustable shower head



*Shutter size corresponds to window opening*

## 6.2.6 Architectural Details

### Windows & Shutters

Window details differentiate architectural styles and can provide a high level of architectural enrichment. The selection and proportion of the windows to the façade should be responsive to the architectural style of the building. Size and shape should be considered to assure a balanced relationship with the surrounding roof and walls. Accent shutters, recesses, surrounds, header beams, and sill trim are a way to further enhance the architecture. In general, windows should enhance rather than dominate the overall architectural character.

- Where grid pattern and/or divided lites are listed in style details, this shall only be required on front elevation feature windows, and exposed corner-side windows
- Match shutter size to the recessed opening window width



*Shutters are appropriately sized*



*Window shutters and details are well composed and style appropriate*

## Materials

Materials and finishes reflect a general theme of environmental harmony with the surrounding topography and neighborhood character. A variety of natural looking materials provide the diversity required for visual interest while unifying the homes in their settings and creating a timeless appeal.

Specific materials are identified for each architectural style within these guidelines. The natural colors of clay, wood, and slate are encouraged using concrete tile formulations. Choice of material finishes should express permanence and quality in the community.

- Use complementary building materials that provide interest and variety consistent with the architectural styles
- Style appropriate concrete roof tile blends are allowed; prohibit overly dramatic blends with extreme contrast
- Use only manufactured stone and adobe that are natural in appearance
- Specify mortar joint types and colors for each masonry product used
- Create a more solid and permanent appearance with stone or other masonry materials, particularly as accents
- Avoid frequent changes in materials
- Properly detail finishes
- Use high-quality, durable, low-maintenance materials
- Provide sufficient details, notes, and specifications in the construction documents to ensure proper construction in the field



*Well designed lot types and neighborhood crafting create great places*

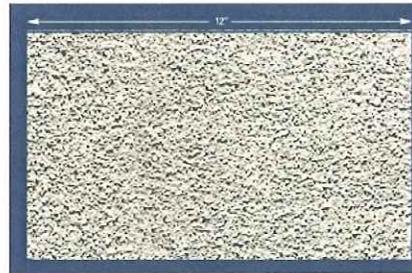
## Stucco

Stucco finish should project high quality and be appropriate to the architectural style.

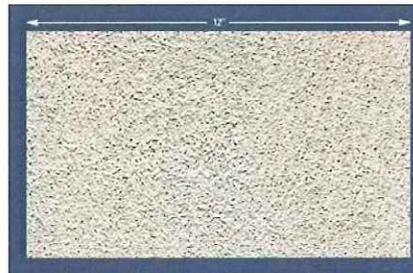
- Construct all stucco trim details (such as window surrounds, window sills, roof eaves, column details, lintels, etc.) with a level of precision and accuracy to express the authentic execution of the style
- Use clean, crisp details
- Use a different trim stucco finish from the wall stucco finish
- No rough, "blob"-like and uneven stucco finish

## Stucco Weep Screed Details

The stucco weep screed at stone or brick adhesively applied veneers should be detailed to be as close to finish grade/finish slab as possible while still maintaining the minimum dimensions required by the building code.



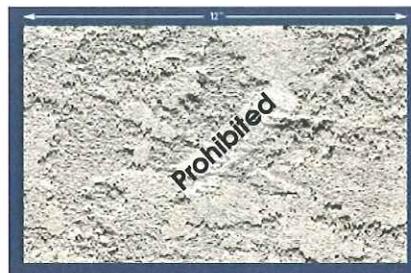
*Medium Sand Float (16/30 Aggregate) Typical Trim Finish*



*Fine Sand Float (20/30 Aggregate)*



*Light Lace Texture - Typical Body Finish*



*Spanish Texture - Prohibited*



*Heavy Lace Texture - Prohibited*

*Permitted and Prohibited Stucco Finishes*

### Material Wrapping

- All siding and accent veneers shall wrap and terminate at an inside corner, or at a logical ending place behind fence or walls.
- Wrap columns, tower elements, and pilasters in their entirety.

### Porch Posts/Columns

Porch post or column finish veneers (stone or brick adhesively applied veneers) should not hang past the face of the porch foundation wall.

### Wood

Wood is a material used in many architectural styles. However, maintenance concerns, a desire for long-term architectural quality, and new high-quality manufactured alternative wood materials make use of real wood material less desirable. For the purposes of LLV, where “wood” is referred to in this PD, it can also be interpreted as simulated wood trim with style-appropriate wood texture.

### Lighting

Residential lighting fixtures must conform to dark sky standards, incorporating hoods or other design elements that direct light downward toward pedestrian walkways. The light fixture shall be consistent with the style of the home.

### 6.2.7 Non Architectural Elements

The placement, design, and functionality of non-architectural items impacts the livability of the community and the aesthetic value of the streetscene. The following should be implemented for non-architectural elements where feasible.

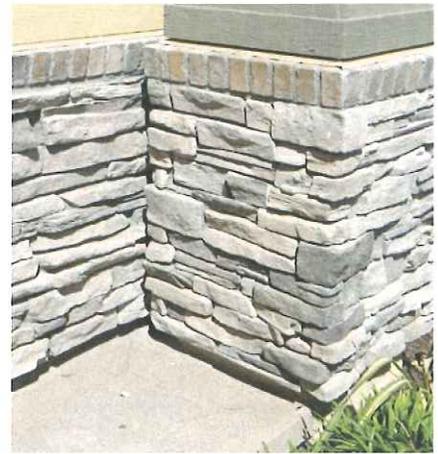
### Mechanical Equipment

Mechanical equipment shall be screened. Mechanical equipment includes:

- HVAC equipment
- Pool and spa equipment
- Exterior landscape/lighting equipment

### Refuse Storage

A refuse storage area sized appropriately to accommodate 2 City-standard waste bins and 1 recycling bin shall be provided for each home a minimum of 5 feet behind the front elevation of the home.



*Materials terminate at inside corner*



*Exterior lighting matches architectural style*

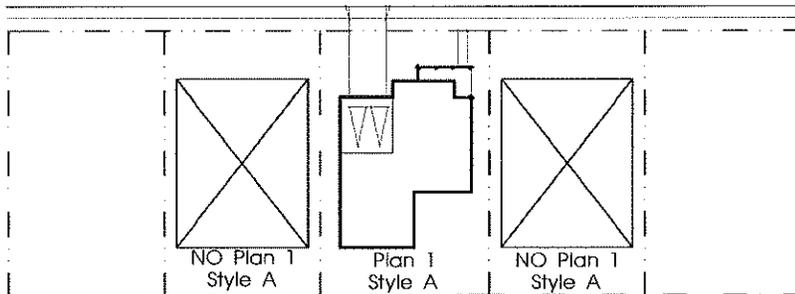
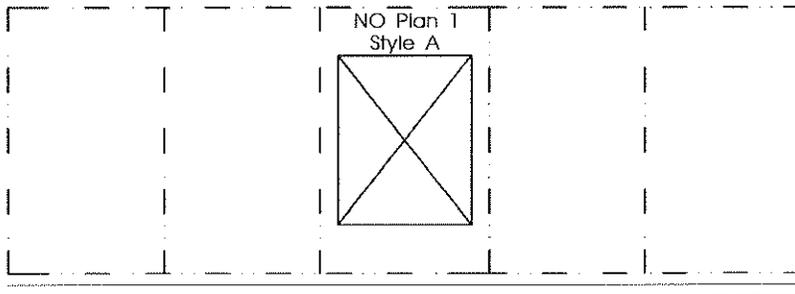


Figure 6.2: Elevation Plan and Plotting Diagram

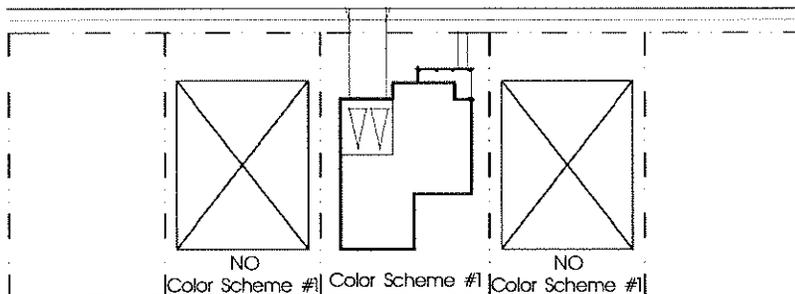
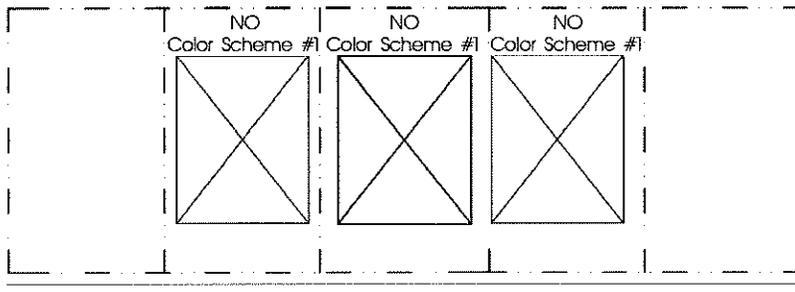


Figure 6.3: Color Scheme Plotting Diagram

### 6.2.8 Plotting Criteria

#### Floor Plan Plotting

Each single-family neighborhood shall meet the following plotting requirements:

- Minimum 3 floor plans per neighborhood (more plans may be provided) to achieve desired diverse aesthetic
- Minimum 3 elevation styles for each floor plan
- Roof form variation between plans

#### Style Plotting

To ensure that architectural variety occurs, no more than 2 of the same floor plan/elevations shall be plotted next to each other or directly across the street from one another.

- Identical floor plans may be plotted on adjacent lots or across the street from each other, provided a different elevation style and color scheme is selected for each of the floor plans.

#### Color Criteria

To ensure variety of color schemes, like color schemes cannot be plotted adjacent to or immediately across the street from one another.

- A color scheme for a home on a selected lot may not be repeated (even if on a different floor plan or elevation) on the lot most directly across from it and on the lot to each side of it.

### 6.3 ARCHITECTURAL STYLES

The following architectural styles have evolved over time in California. Their inherent attractiveness, informality, and sense of elegance have enabled these styles to remain popular over a long period of time. Specifically, the styles are visually compatible with each other and possess general market appeal and community acceptance. They are capable of interpretation and variation. Most importantly, they have a historic background and design character precedent set by the regional architectural vocabulary of Vacaville and its surroundings.

The following styles are permitted within LLV:

- California Farmhouse
- California Vineyard
- Craftsman
- European Cottage
- French County
- Italian Villa
- Monterey
- Santa Barbara
- Spanish
- Tuscan

Additional styles must follow the same principles and attention to detail as the specific styles listed here. The Community Development Director shall determine if the additional style meets the intent of these guidelines.

#### Architectural Authenticity

Authentic architecture is a key element of great neighborhoods. Massing, roof forms, materials and details should reflect historic and regional styles. Styles must be carefully matched to the plan forms so costly changes in roof and structure can be avoided.

On the following pages, each architectural style is defined by elements that are listed as minimum standards that include typical characteristics of that style. Suggested elements are encouraged. These style elements apply to the front, corner-side, and significant edge condition elevations.

The following style tables list “standard” features which are required for elevations of the style and “enhancements” which are additional features or elements associated with the style that may be used on the elevation but are not required. The drawings are intended to illustrate some of the characteristics of each style and are not to be taken literally.



## Craftsman

A long standing tradition in the local scene, Craftsman homes can be found nestled in the original town centers of the Central Valley. Stylized by California architects such as Bernard Maybeck in Berkeley and the Greene brothers in Pasadena, the style focuses on exterior elements with tasteful and artful attention. This architecture relies on the simple house tradition, combining hip and gable roof forms with wide, livable porches and broad overhanging eaves.

Extensive built-in elements define this style, treating details such as windows and porches as if they were furniture. The horizontal nature is emphasized by exposed rafter tails and knee braces below broad overhanging eaves and rusticated, textural materials. The overall effect is the creation of a natural, warm and livable home of artful and expressive character.



*Example Craftsman style elevation*

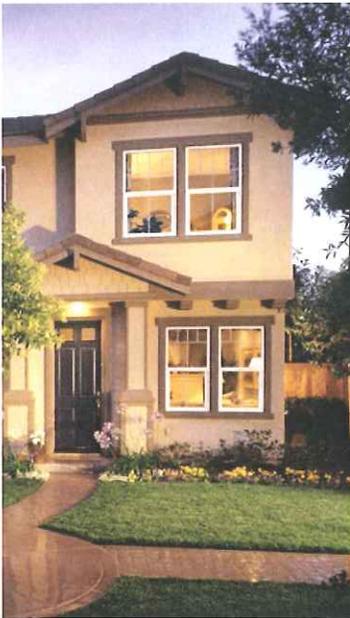
Details	Standard	Enhancements
Roofs	Side-to-side gable with cross gable Roof pitches 3.5:12 to 8:12 Standard overhangs Exposed rafter tails Deeper rakes Bargeboard at gable end	Extended eaves Shaped rafter tails preferred Outlookers and brackets
Roof Materials	Flat, shake concrete tile	
Wall Materials	Light lace stucco finish Vertical or Horizontal siding	Shingle siding or board & batten OR brick or stone accents (natural or painted to match stucco)
Architectural Elements	Porches or covered or defined entry	Heavy timber columns, posts & beams Tapered column porch supports
Trim & Details	Appropriately sized columns	Gable end details Tapered or double-post porch columns on brick or stone piers
Windows	Vertically proportioned windows Window grids Fully trimmed windows	Grouped windows with continuous head trim Vertical windows at first floor and horizontal windows at 2nd floor along belt course
Doors & Gates	Paneled front entry doors Paneled garage door	Front entry wood and glass doors Garage door with windows



*Exposed rafter tails and gable end details*



*Tapered column porch supports with stone or siding details*



## California Farmhouse

The California Farmhouse blends the country farm home with California sensibilities of outdoor living, earth colors, and simple use of materials. The farmhouse has a more formal appeal than the vineyard homes.

Predominant features include large and sometimes wrapping front porch to extend the living space to the outside. This presents a warm welcome to neighbors. Wood columns and railings with cross braces, exposed rafter tails, and siding accents give this style a charming appeal.

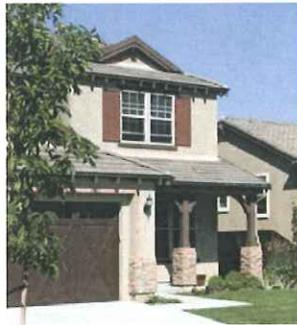


*Example California Farmhouse style elevation*

Details	Standard	Enhancements
Roofs	Clean, asymmetrical gable roof with cross gables Roof pitches 4:12 to 6:12 12" to 18" overhangs at eaves 6" to 12" overhangs at rakes	Dormer roof projections Simple shaped, square or half round, rafter tails Boxed eaves
Roof Materials	Flat tile OR composition roof	
Wall Materials	Stucco: Light lace finish 16/20 to 30/30 finish at feature elements	Horizontal siding accents Stone accents
Architectural Elements	Simple square post and beam supports at porch	Proportionally large porch at entry Square "wood" columns with brackets, cross braces and railing
Trim & Details	Stucco-wrapped, high density foam trim Exposed eaves and simple square rafter tails	
Windows	Horizontally proportioned windows with divided lites Unifying sill	Plank or Lazy-Z shutters Balanced header and sill trim Pot shelves
Doors & Gates	Entry doors highlighted by roof element or porch feature Well-placed and proportional entry light fixture Rectangular or arched surrounds (follows door design)	



*Details and materials define this California style*



## California Vineyard

The California Vineyard style captures the spirit of northern California agrarian family living. Homes reflect an airy connection to the outdoors with simple forms, vertical windows, and outdoor living spaces. The style is earthy and horizontal in nature based on farm house shapes and materials that suggest the home grew with the vineyard.

Gable and cross gable roof forms are accented by shed dormers. Use of materials connect the style to the agricultural past with stucco, stone, hardboard wall materials, and standing seam metal roof accents.

Porches are supported by simple square posts and brackets.



*Example California Vineyard style elevation*

Details	Standard	Enhancements
Roofs	Clean, uncomplicated roof solutions of gables and cross gables Roof pitches 3½:12:12 to 5:12 12" to 18" overhangs at eaves 6" to 12" overhangs at rakes	Shed dormer Simple shaped, square or half round, rafter tails
Roof Materials	Flat tile OR composition roof	Standing seam "metal" or agricultural-style accent shed roof elements
Wall Materials	Stucco: Light lace finish 16/20 to 30/30 finish at feature elements	Standing seam "metal" accents Vertical hardboard on accent walls Stone accents
Architectural Elements	Simple square post and beam supports at porch	Porches and courtyards Open or boxed cornice
Trim & Details	Exposed eaves and rafter tails Well-placed and proportional entry light fixture	Wall mounted light fixtures at garage door
Windows	Vertically proportioned windows with divided lites Unifying header beam	Palladian awning or shutters on accent windows Exposed heavy "wood" header beam Clerestory windows under shed roof form
Doors & Gates	Entry doors highlighted by roof element or porch feature Rectangular or arched surrounds (follows door design)	



*Porch with rail detail and use of materials are key to this style*



## European Cottage

The European Cottage is a picturesque style that evolved out of medieval Tudor and Norman domestic architecture. The evolving character that resulted in the English “cottage look” became extremely popular with the addition of stone and brick veneer details in the 1920s.

Roof pitches are steeper and include gable, hip and half-hip roof forms. The primary exterior stucco is accented with stone and brick bases, veneers and tower elements. Some of the most recognizable features of this style are the stucco accents in the gable end forms and the sculptured swooping walls at the front elevation.



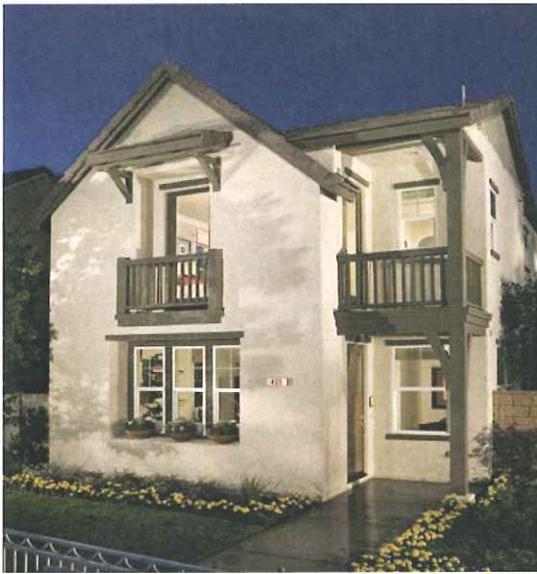
*Example European Cottage style elevation*

Details	Standard	Enhancements
Roofs	4:12 to 12:12 roof pitches Standard overhangs Gable end details	Dormers, gable details, shed roofs, or swoop roof features
Roof Materials	Flat tile OR composition roof	
Wall Materials	Stucco: Light lace finish	Stone accent ½ timbering
Architectural Elements	Traditional pediment surround entry Porches or meaningful entries	Tower Element Bay windows
Trim & Details	Appropriately sized simple columns Plank or Lazy-Z shutters	Metal details
Windows	Vertically proportioned windows Window grids on upper levels	Dormer windows
Doors & Gates	Paneled entry doors Paneled garage door with windows	

*Front gable with bay window and metal accent*



*Simple roof features elevate style*



*Pot shelf with shutters that match window shape*



## French Country

The identity of the French Country home is classified as part farmhouse and part chateau. This style is born out of the rural hillsides and villages within the Dordogne region in France. As a romantic style it has been adapted throughout southern California and is suited in form and color to the hills and valleys of the area.

Looked upon as an enchanting style, the details of stone lintels and surrounds at doorways and windows capture the aging essence of the character. Use of stone surrounds and sills with simple provincial shutter styles subtly enhance the simplicity of these homes.

Roof pitches vary from shallow to steep, but with very little overhang. Rafter tail ends and wood or wrought iron balconies are silhouetted against building facades, with an unassuming steep-pitched tile roof.



*Example French Country style elevation*

Details	Standard	Enhancements
Roofs	Hip or gable roof with intersection hips or gables 4:12 to 12:12 roof pitches Standard overhangs Gable end details	Dormers Swoop roof
Roof Materials	Flat tile OR composition roof	
Wall Materials	Stucco: Light lace finish 16/20 to 30/30 finish at feature elements	Stone accents
Architectural Elements	Porches or tower elements sheltering entry	Bay windows Dormer windows Simple columns or posts
Trim & Details	Appropriately sized simple columns Plank or Lazy-Z shutters	Projecting head and/or sill trim
Windows	Vertically proportioned windows Window grids on upper levels	Lazy-Z or plank shutters
Doors & Gates	Paneled entry doors Paneled garage door with lites	Traditional pedimented/surround front entry



*Organization of building forms, choice of roof forms, and shutter style are key components*



## Italian Villa

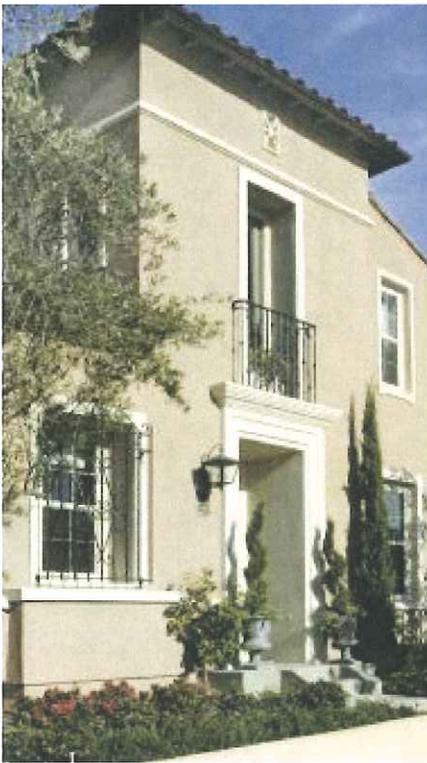
The Italian Villa is a fashionable style based on the formal and symmetrical palaces of the Italian Renaissance. Italian Villa homes are straightforward and boxy, with only window crowns and cornice moldings as ornamentation.

This old world prototype was refined, adapted and embellished into a truly eclectic classic style. The shallow pitched hipped roof often with decorative brackets identifies this style. As it became a popular building material, cast iron expanded the Italian style vocabulary to include a variety of embellished designs for porches, balconies, railings, and fences.



Example Italian Villa style elevation

Details	Standard	Enhancements
Roofs	Main hip roof with hip ancillary roofs 1-story shed roofs permitted 3½:12:12 to 5:12 roof pitch Tight to 12-inch overhangs at rakes 12- to 18-inch overhangs at eaves	Closed/shaped eave with corbels at accent elements
Roof Materials	Flat or low profile "S" concrete tile or clay tile	
Wall Materials	Stucco: Light lace or medium sand finish	
Trim & Details	Formal entry with trimmed stucco, rectangular or full arch top Belt course	Metal balconies and pot shelves Simulated precast surrounds Simulated precast columns at entry or between windows Base trim
Windows	Grid patterned windows Trim around front and visible windows Paneled or louvered shutters on accent window	Round arch top accent windows Symmetrically ordered and stacked windows and openings Recessed windows
Doors & Gates	Paneled entry doors Paneled garage door	Garage door with windows



*Horizontal banding and pre-cast entry details*



*Style has simple form with focus on window trim and shutter details*



## Monterey

Influenced by both the Spanish Colonial and the New England Colonial homes, the Monterey style features Spanish detailing while maintaining the Colonial style form. With its stucco or masonry walls, red barrel, "S" or flat concrete shake roofs, this style exhibits many of the same elements as an historical Spanish home: simple building form and mass, rusticated corbels, head trim, posts or balconies (if used), and gable roof forms.

Interpretations of this style maintain a simple elegance. The early prototypes added many refinements and new details. Many successful adaptations of this style focused simply on careful massing, detail and the natural beauty inspired through its blend of rich Spanish and Colonial heritage.



*Example Monterey style elevation*

Details	Standard	Enhancements
Roofs	Clean, uncomplicated roof solutions of hips or gables Roof pitches 4:12 to 5:12 12" to 18" overhangs at eaves Balcony and main roof are same low pitch	Modest projection rafter tails, shaped rafter tails Parapets with barrel tile cap Tight rakes
Roof Materials	Concrete "S" tile OR flat tile	2 - piece barrel tile with mud boost on 1st two courses
Wall Materials	Stucco: Light lace finish 16/20 to 30/30 finish at feature elements	Material change at second floor Brick or slump block on first floor at main entrance Board and batt or horizontal siding at upper level
Architectural Elements		Balconies cantilevered or supported Balconies and railing are made of heavy timber wood
Trim & Details	Stucco-wrapped, high density foam trim Exposed or closed eaves Well-placed and proportional entry light fixture Plank-style shutters on feature windows	Wood or metal railing Gutter/downspouts are exposed and treated as design feature
Windows	Vertically proportioned windows with divided lites	Awnings
Doors & Gates	Rectangular or arched surrounds (follows door design)	Entry located under covered balcony



*Accent material terminates at inside corner*



*Traditionally pedimented front entry*



*Classic Monterey form and details*

## Santa Barbara

The Santa Barbara style is taken from the coast town of the same name. Inspired by Spanish architectural style and details, the Santa Barbara style evolved to have its own flavor, form, and color.

Homes are a signature white stucco or a monochrome scheme highlighting the clean simple massing of the style. Spanish details such as gable end barrel tiles, metal elements and features, and arch accents offset the clean lines.

Flat front facades can highlight the clean style with the entry highlighted by precast pedimentation and tile and metal details.



Example Santa Barbara style elevation

Details	Standard	Enhancements
Roofs	Hip and gable roof with intersecting hip and gables Roof pitches 3½:12 to 5:12 Tight to 18" overhangs at eaves Tight to 12" overhangs at rakes	Cross gable at front Shaped stucco eaves or rafter tails
Roof Materials	Concrete "S" tile	
Wall Materials	Stucco: Light lace finish 16/20 to 30/30 finish at feature elements	Ceramic tile or refined brick accents
Architectural Elements		Monterey-style projecting balcony Porches, Juliette balconies or courtyards Stucco or tile decorative gable end or main wall vents
Trim & Details	Stucco-wrapped, high density foam trim Closed or exposed eaves Creative gable end details Decorative metal (meaningfully designed and appropriately used) Well-placed and proportional entry light fixture	Exposed rafter tails under balcony Wall mounted light fixtures at garage door
Windows	Arched primary and accent windows Vertically proportioned windows	Series of windows stacked on first and second floor Recessed windows Simple "wood" header trim
Doors & Gates	Entry with "precast" door surround OR Entry door sheltered in tower element or porch or under balcony	Arched entry with surround Arched door or window features



*Simple building form  
2-story volume front elevation with  
front facing gable*



*Simple form with details*



*Arched or recessed  
windows provide simple  
elevation enhancements*

## Spanish

The Spanish style includes which attained wide-spread popularity after the Panama-California exposition of 1914 in San Diego. The Spanish most notable characteristics include the use of "S" or barrel tile roofs, stucco walls, feature entry doors and porticos, highlighted ornamental iron work and carefully proportioned windows appropriate to its wall mass.

Key features of this style were adapted to the California lifestyle. Plans were informally organized around a courtyard with the front elevation very simply articulated and detailed. The charm of this style lies in the directness, adaptability and contrasts of materials and textures.



*Example Spanish style elevation*

Details	Standard	Enhancements
Roofs	Clean, uncomplicated roof solutions of hips or gables Roof pitches 3½:12 to 5:12 Tight to 18" overhangs at eaves Tight to 12" overhangs at rakes	Cross gable at front Shaped, stucco eaves or rafter tails
Roof Materials	Terra cotta concrete "S" tile OR flat tile	
Wall Materials	Stucco: Light lace finish 16/20 to 30/30 finish at feature elements	Ceramic tile or refined brick accents
Architectural Elements		Porches, Juliette balconies or courtyards
Trim & Details	Stucco-wrapped, high density foam trim Exposed eaves Creative gable end details Decorative metal (meaningfully designed and appropriately used) Well-placed and proportional entry light fixture	Wall mounted light fixtures at garage door
Windows	Vertically proportioned windows with divided lites	Round arch top accent windows Recessed windows "Wood" header trim
Doors & Gates	Entry doors without a porch, to be deeply recessed from front facade Rectangular or arched surrounds (follows door design)	



*Simple building form and details*



*Simple form is accented by roof features and windows*



## Tuscan

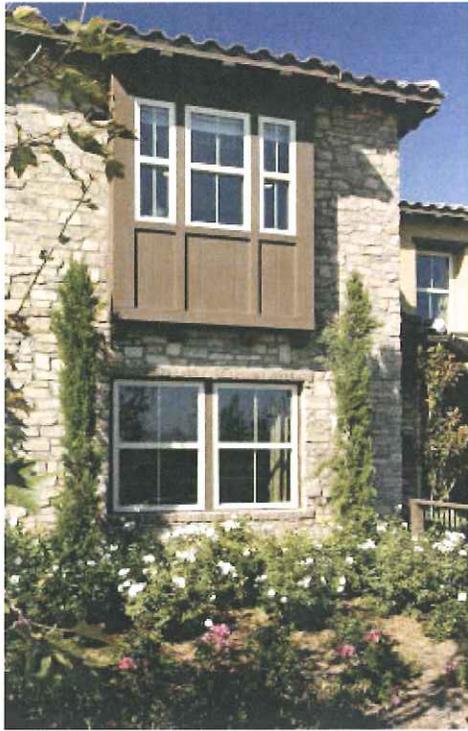
The Tuscan style is inspired by the country villas of northern Italy. Since this region is primarily agricultural, these homes reflect the character of the farmhouse estate. Built by their owners with the indigenous materials and colors of the surroundings, these buildings blend naturally with the land.

The style is characterized by a low-pitched irregular roofline, which may be punctuated by a tower or campanile. Shutters tend to be painted deep colors. The exterior walls tend to be stucco with warm and sometimes colorful earth tones with stone or adobe accents often at the front entry.

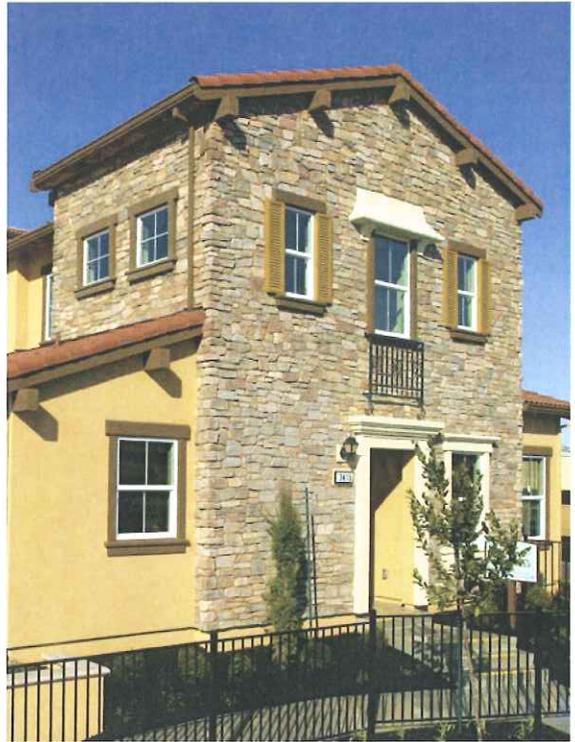


*Example Tuscan style elevation*

Details	Standard	Enhancements
Roofs	Main hip roof with gable ancillary roofs 3½:12 to 5:12 roof pitch 4- to 12-inch overhangs at rakes 2- to 18-inch overhangs at eaves	Cross gable at front Secondary shed or gable roofs over 1-story element Rafter tails
Roof Materials	Flat or low profile "S" concrete or clay tile	
Wall Materials	Stucco: Light lace or medium sand finish Stone or adobe block accent at front elevation	Tower element (square or round) Large expanses of stone or adobe block veneer from base of wall to roof overhang
Architectural Elements		Covered entry Decorative metal grille work, pot shelf, balcony railing, etc.
Trim & Details	Formal entry with trimmed stucco, rectangular or full arch top Belt course	Metal balconies and pot shelves Simulated precast surrounds Simulated precast columns at entry or between windows Base trim
Windows	Grid patterned windows Trim around front and visible windows Paneled shutters at accent windows	Precast or simulated pre-cast window trim Recessed windows
Doors & Gates	Paneled front entry doors Paneled garage door	Garage door with window lites



*Tower or volume elements are characteristic*



*Use of stone and building form define style*



## **6.4 BUSINESS VILLAGE/TOWN CENTER**

The intention of the Business Village is to create an urban business district with a functionally cohesive and aesthetically pleasing development which supports a variety of employment opportunities, fosters pedestrian activity and interaction, and is sensitive to the natural characteristics of the site.

The intention of the Town Center is to integrate a mix of uses to service the daily needs of the Lagoon Valley Villages. As a "placemaking" component, the Town Center enhances the walkability of the community.

The guidelines of this section shall be used in conjunction with Chapter 2 of this document.

### **6.4.1 Building Guidelines**

The following guidelines apply to the Business Village and Town Center uses:

- (a) Building heights and massing should frame view corridors
- (b) Building heights and massing should be appropriate to their use and surrounding context. Variation in height is encouraged
- (c) Buildings may be oriented to maximize their view potential without blocking the views of adjacent or surrounding buildings
- (d) Roof massing should be modulated to enhance views, increase solar efficiency, and correspond to distinct spaces within the building
- (e) Architectural detailing must be expressed on all visible sides of building(s).
- (f) The design of the town center residential units shall be consistent with the architectural character of the Town Center buildings.
- (g) Separate entrances shall be required for residential and commercial uses when occupying the same structure (this does not preclude secondary interior access between commercial and residential uses, in addition to the required separate accesses, provided that residential access to or through commercial uses avoids unsafe commercial areas). Live/work units shall not be required to provide separate entrances.

### 6.4.2 Town Center: Main Street Style

The Town Center shall include streetscenes that resemble an image of traditional main street blocks. Historically, the organic development of main street blocks involved the addition or replacement of buildings over an extended period allowing variety and spontaneity the fostered pedestrian and business vitality. Building design with this area should be a combination of authentic interpretations of traditional main street design vocabularies and more contemporary interpretations. Ideally, an aesthetic combination of these elements will reinforce the perception of a long-established core built over time.

The “Main Street” style is comprised of storefronts that appear to be individual, having developed overtime. Storefronts should vary in height from one to three stories and can include business, offices, and retail on ground floor with residential or non-residential uses on the upper floors.

Because the style evolved organically as businesses came and went in a town center, the expression of the style is purposefully non-symmetrical, with entries located on- or off-center. The lower level should be dominated by large windows framed by the buildings corners and a varied material



*Examples of contemporary Main Street Style*



palette that distinguishes between building volumes and floors. The upper may included single- or double-oriel windows, friezes or surrounds, panels and decorative cornices. Other options included the use of parapet walls, continuous sills, or decorative lintels, and string or belt courses dividing the wall laterally. The cornice functioned as a cap under which other elements were arranged and balanced.

### Main Street Style Design Guidelines:

- (a) Incorporate a design vocabulary patterned after small-town American main streets.
- (b) To the extent feasible, design buildings to appear as a collection of individual small buildings rather than a single uninterrupted large building;
- (c) Consider multiple building heights and parapet/fascia treatments;
- (d) Incorporate pedestrian-scale windows, features and massing;
- (e) Articulate building/tenant entries;
- (f) Where possible, provide horizontal definition between uses;
- (g) Use massing offsets and other architectural elements to create visual interest in and reduce its overall mass of larger single-tenant buildings;
- (h) Articulate the facade with light and shadow variation through recesses and/or projections.



*Example of Conceptual Contemporary Main Street Style*

### 6.4.3 Loading and Servicing Areas

Loading and servicing areas shall be designed in accordance with the following:

- (a) Materials, finish and colors shall match the building;
- (b) Additional use of landscape planting and berming to form part of the visual barrier shall be provided;
- (c) No articles, goods, materials, machinery or equipment, vehicles, trash or similar items shall be stored or kept in the open or exposed to view from the street, freeway, sidewalks, and adjacent sites;
- (d) Loading areas shall be screened from adjacent streets or the freeway.
- (e) Loading areas shall not encroach into a setback area, shall not face entry drives, plazas, or major open space areas, and shall be adequately screened from adjacent areas. Screening may include:
  - Masonry wall material
  - Minimum wall height of 6 feet, with additional height permitted to match the design and finish of the building
  - Tall, continuous landscape elements such as tree screens or "green walls"

### Trash Enclosures

Trash enclosures shall be provided in accordance with VMC section 14.09.084.110, Trash Enclosures. In addition, trash collection areas shall:

- (a) Not be visible from adjoining streets or the freeway.
- (b) Adequately screen the loading areas from adjacent areas.
- (c) Not encroach into any landscape or building setback area.
- (d) Comply with California Fire Code for separation requirements.

### 6.4.4 Auxiliary Structures/Equipment and Utilities

- (a) With the exception of solar panels, all roof mounted equipment and/or appurtenances including, but not limited to, air conditioning units, and mechanical and electrical equipment shall be shielded and architecturally screened from view from on-site parking areas, adjacent public streets, and adjacent properties.
- (b) All ground-mounted mechanical and electrical equipment, including heating and air conditioning unit, and trash receptacle areas, shall be screened from surrounding properties by use of a masonry wall and/or landscaping. Fire equipment/utilities shall not be screened.
- (c) All utility connections, excluding fire devices, shall be underground whenever possible and designed to coordinate with the architectural elements of the site so as not to be exposed except where necessary.
- (d) No above-ground utility transformers are permitted unless required by utility company.



### 6.5 CLUBHOUSE COMPLEX

The Clubhouse Complex may incorporate indoor and outdoor spaces, programmed uses, and cart storage area as part of the total square footage to create a unique golf course facility. Environmentally sensitive to the local habitat, the Clubhouse Complex will provide a variety of services such as pro shop, bar/grill, banquet room, private dining, and locker facilities. This quality amenity-enhanced complex will become an architectural symbol for LLV community.

Included as part of the Clubhouse Complex will be additional recreational facilities such as a small fitness center. The proposed Clubhouse Complex design intent is shown on Figure 2.8: Conceptual Clubhouse Complex.

The design of the Clubhouse Complex will be integrated, as feasible, with the natural hillside. The Clubhouse Complex will be developed in a architectural style and level of quality that complements LLV, this may be in a Hacienda, Monterey, or Tuscan theme.



*Inspirational imagery for the Clubhouse Complex*

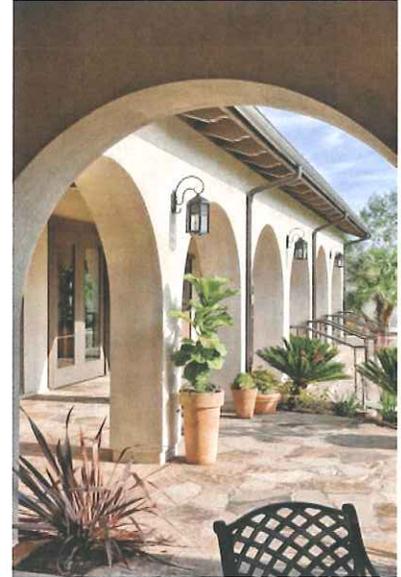
**Village Recreation Facilities**

The village recreation facility will be located in the Clubhouse Complex. The recreation facility will be designed thematically similar to the Golf Clubhouse. This facility will serve the entire LLV community as a gathering space and recreation amenity and may include fitness center, meeting space, and a pool.

**6.5.1 Development Guidelines**

As a community feature and golf destination, the Clubhouse Complex shall be designed and detailed in a manner that reflects its importance to the village. The design shall consider the following:

- Utilize simple massing with style appropriate roof forms
- Provide intersecting wings or offset building volumes; a single building volume is discouraged
- Design building entry and outdoor spaces to be easily discernible and provide a sense of prominence and scale
- Use materials, details, and colors appropriate to the style and quality of the community
- Locate main building(s) to be prominently visible from the street; locate cart storage, maintenance facilities, and other “back of house” uses away from street view



*Inspirational imagery for the Clubhouse Complex*

## **Loading and Servicing Areas**

Loading, trash, and servicing areas shall be designed in accordance with the following:

- Materials, finish and colors shall match the building.
- No articles, goods, materials, machinery or equipment, vehicles, trash or similar items shall be stored or kept in the open or exposed to view from the street, freeway, sidewalks, and adjacent sites.
- Loadings areas shall be screened from adjacent streets or the freeway.
- With the exception of solar panels, all roof appurtenances including, but not limited to, air conditioning units, and mechanical and electrical equipment shall be shielded and architecturally screened from view from on-site parking areas, adjacent public streets, and adjacent homes and open spaces.

## **6.6 FIRE STATION**

The fire station shall be designed to be compatible with the theming of the adjacent Town Center. The fire station includes 2-story elements with building articulation massing relief, as well as non-combustible materials and detail treatment. Quality landscaping shall be installed to soften the structure similar to the Town Center standards. Conceptual elevations for the fire station are shown on the next page.





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